



MOLINE CITY COUNCIL AGENDA

Tuesday, February 9, 2016

6:30 p.m.

(Immediately following the Committee-of-the-Whole meeting)

City Hall

Council Chambers – 2nd Floor

619 16th Street

Moline, IL

Call to Order

Pledge of Allegiance

Invocation – Alderman Rodriguez

Roll Call

Consent Agenda

All items under the consent agenda will be enacted by one motion. There will be no separate discussions of these items unless a Council Member so requests, in which case, the item will be moved from the Consent Agenda and considered as the first item after the Omnibus Vote.

COUNCIL MEMBER	PRESENT	ABSENT
Rodriguez		
Parker		
Wendt		
Zelnio		
Turner		
Schoonmaker		
Liddell		
Acri		
Mayor Raes		

Approval of Minutes & Appointments Made

Committee of the Whole and Council meeting minutes of February 2, 2016.

Resolutions

1. Council Bill/Resolution 1011-2016

A Resolution authorizing approval of a Reconciliation Change Order with Miller Trucking and Excavating, Inc. for Project #1193, River Drive Utility Relocations, in the amount of \$468,390.98.

Explanation: In order to make final payment to the contractor and close out the contract, a change order is needed in the amount of \$468,390.98. The change order reflects the difference between the estimated bid quantities and final quantities actually constructed. The change order increases the original contract value of \$1,791,644.25 by 26.14% to \$2,260,035.23. Additional documentation attached.

Fiscal Impact: Funds are available as detailed below:

ACCOUNT	BUDGETED	ORIGINAL CONTRACT	ADDITIONAL WORK	TOTAL
Utility Tax	280,000.00	547,424.25	246,435.78	793,860.03
Water	300,000.00	243,664.00	64,647.95	308,311.95
WPC	900,000.00	999,981.00	137,603.72	1,137,584.72
Storm		575.00	19,703.53	20,278.53
	1,480,000.00	1,791,644.25	468,390.98	2,260,035.23

Public Notice/Recording: N/A

2. Council Bill/Resolution 1012-2016

A Resolution authorizing the Mayor and City Clerk to execute a Contract with Precision Pavement Markings, Inc. for Project #1239, 2016 Pavement Marking Program, in the amount of \$147,475.00.

Explanation: Bids were opened and publicly read on January 26, 2016, for Project #1239 with the following results:

\$147,475.00 Precision Pavement Markings, Inc.
 \$153,047.50 Peterson Parking Lot Striping, Inc.

Precision Pavement Markings, Inc. submitted the lowest responsible and responsive bid. Additional documentation attached.

Fiscal Impact: Funds are budgeted and available as follows:

ACCOUNT	BUDGETED	AS-BID	
CIF	\$150,000.00	\$147,475.00	510-9957-438.04-25
Water			
WPC			
Storm			
	\$150,000.00	\$147,475.00	

Public Notice/Recording: N/A

3. Council Bill/Resolution 1013-2016

A Resolution authorizing the Mayor and City Clerk to execute a Contract with Denler, Inc. for Project #1240, 2016 Joint and Crack Sealing Program, in the amount of \$74,300.00.

Explanation: Bids were opened and publicly read on January 26, 2016, for Project #1240 with the following results:

\$74,300.00	Denler, Inc.
\$74,800.00	Freehill Asphalt, Inc.
\$77,300.00	NuCoat Sealing, LLC
\$77,400.00	Patriot Pavement Maintenance
\$92,000.00	Centennial Contractors of the Quad Cities, Inc.
\$115,000.00	Walter D. Laud, Inc.

Denler, Inc. submitted the lowest responsible and responsive bid. Additional documentation attached.

Fiscal Impact: Funds are budgeted and available as follows:

ACCOUNT	BUDGETED	AS-BID	
CIF	\$75,000.00	\$74,300.00	510-9957-438.04-25
Water			
WPC			
Storm			
	\$75,000.00	\$74,300.00	

Public Notice/Recording: N/A

4. Council Bill/Resolution 1014-2016

A Resolution authorizing the purchase of three grounds maintenance units for the Parks and Recreation Department from Deere and Company in Cary, North Carolina, in the amount of \$85,503.91.

Explanation: Several mowing units in the Parks and Recreation Department have exceeded their useful life. These mowing systems are used throughout the Parks system for turf maintenance. The Illinois Association of County Board Members and Commissioners has bid discounts that are extended to all constituents from Deere and Company. Deere and Company in Cary, North Carolina, is able to furnish three of the recommended mowing systems with three hydraulic angling front blades on contract #14-04-00777-A at the discounted price of \$85,503.91. Additional documentation is attached.

OMNIBUS VOTE		
Council Member	Aye	Nay
Rodriguez		
Parker		
Wendt		
Zelnio		
Turner		
Schoonmaker		
Liddell		
Acri		
Mayor Raes		

Fiscal Impact: \$92,515.00 budgeted in Account #448-0867-437.07-03

Public Notice/Recording: N/A

Omnibus Vote

Non - Consent Agenda

First Reading Ordinances

5. Council Bill/General Ordinance 3003-2016

An Ordinance amending Chapter 8, “BUILDINGS AND OTHER CONTRUCTION AND BUILDING SERVICES,” of the Moline Code of Ordinances, Section 8-3101, “AMENDMENTS TO MOLINE MECHANICAL CODE,” by repealing subsection (k) in its entirety and enacting in lieu thereof one new subsection (k) dealing with the same subject matter.

Explanation: It is in the City’s best interest to establish building and construction guidelines to protect the health, safety and welfare of City residents. City staff recommends an amendment to Section 8-3101, subsection (k), of the Moline Code of Ordinances, that provides clarification concerning the installation of ventless fireplaces. Ventless fireplaces should be installed according to the manufacturer’s instructions to protect the health, safety and welfare of City residents.

Fiscal Impact: N/A
Public Notice/Recording: Pamphlet Publication

6. Council Bill/Special Ordinance 4006-2016

A Special Ordinance authorizing the Mayor and City Clerk to execute a Lease Agreement (“Agreement”) between the City of Moline (“City”) and GTE Wireless of the Midwest Incorporated, an Indiana corporation d/b/a Verizon Wireless (“Verizon”), where said Agreement leases a portion of the space on the City’s water tower, located at 531 15th Avenue, so that Verizon may install, maintain and operate its radio telecommunications equipment, antennas and appurtenances, or for such other specified uses in said Agreement.

Explanation: The City has a portion of the space on the water tower located at 531 15th Avenue that is available to lease. Verizon is interested in entering into the aforementioned Agreement to lease a portion of the space on the aforementioned water tower to install, maintain and operate its radio telecommunications equipment, antennas and appurtenances, or for such other specified uses in said Agreement. The term of the Agreement will commence on April 1, 2016. The initial term for the Agreement shall be for five (5) years and shall automatically be extended for three (3) additional five (5) year terms, with one additional automatic five (5) year term if neither party has terminated the Agreement prior to the expiration of the current term. The annual rental for the first year of each Agreement shall be Fourteen Thousand Four Hundred and no/100 Dollars (\$14,400.00), and said annual rental shall increase by an amount equal to three percent (3%) of the total annual rent for the immediately preceding lease year. Additional documentation attached.

Fiscal Impact: Increased Revenue to Water Fund
Public Notice/Recording: N/A

Miscellaneous Business (if necessary)

Public Comment

Members of the Public are permitted to speak after coming to the podium and stating their name.

Executive Session (if necessary)

Council Bill/Resolution No. 1011-2016

Sponsor: _____

A RESOLUTION

AUTHORIZING approval of a Reconciliation Change Order with Miller Trucking and Excavating, Inc. for Project #1193, River Drive Utility Relocations, in the amount of \$468,390.98.

WHEREAS, in order to make final payment to the contractor and close out this contract, a Reconciliation Change Order is needed in the amount of \$468,390.98; and

WHEREAS, said change order reflects the difference between the estimated bid quantities and final quantities actually constructed; and

WHEREAS, said change order increases the original contract value of \$1,791,644.25 by 26.14% to \$2,260,035.23.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MOLINE, ILLINOIS, as follows:

That the City Council finds it in the best interest of the City of Moline, Illinois, to authorize approval of a Reconciliation Change Order with Miller Trucking and Excavating, Inc. for Project #1193, River Drive Utility Relocations, in the amount of \$468,390.98; provided, however, that said change order is in substantially similar form and content to that attached hereto and incorporated herein by this reference thereto as Exhibit A and has been approved as to form by the City Attorney.

CITY OF MOLINE, ILLINOIS

Mayor

February 9, 2016
Date

Passed: February 9, 2016

Approved: February 23, 2016

Attest: _____
City Clerk

Approved as to Form:

City Attorney

CITY OF MOLINE

CONTRACT CHANGE ORDER

Project No. : 1993

Description:

River Drive Utility Relocation

Contractor : Miller Trucking & Excavating

Date : 22-Dec-15

Change Order No. : 1 & Final

Sheet 1 of 1

WORK DAYS		CONTRACT	
Contract		Original Contract	\$1,791,644.25
Changes		Changes To-Date	\$468,390.98
Adjusted		Adjusted Contract	\$2,260,035.23
% Change			26.14%

* Item	Description	Quantity	Unit	Price	Addition	Deduction
UTILITY						
1	SEEDING SPECIAL COMPLETE	-1062.0	SY	\$4.00		(\$4,248.13)
2	TREE REMOVAL (6 TO 15 UNIT DIAMETER)	15.50	UNIT	\$40.00	\$620.00	
3	TREE REMOVAL (OVER 15 UNIT DIAMETER)	38.70	UNIT	\$50.00	\$1,935.00	
6	GEOTECH FAB F/GR STAB	430.60	SY	\$1.25	\$538.25	
7	AGGREGATE BASE COURSE A 6"	-295.00	SY	\$10.00		(\$2,950.00)
8	AGGREGATE BASE COURSE B 6"	1891.20	SY	\$12.00	\$22,694.40	
9	HMA BINDER CSE IL 19.0 N50	-26.00	TON	\$260.00		(\$6,760.00)
10	HMA SURFACE CSE IL-9.5FG N50	-17.00	TON	\$260.00		(\$4,420.00)
11	PCC PAVEMENT 8" W/INTEGRAL CURB	758.60	SY	\$58.00	\$43,998.80	
12	PCC DRIVEWAY PAVEMENT 7"	-49.20	SY	\$61.00		(\$3,001.20)
13	PCC SIDEWALK 4"	-1003.80	SF	\$6.00		(\$6,022.80)
14	PCC SIDEWALK RAMP 6"	593.60	SF	\$14.00	\$8,310.40	
15	DETECTABLE WARNINGS	128.00	SF	\$34.00	\$4,352.00	
16	PAVEMENT REMOVAL	758.60	SY	\$10.00	\$7,586.00	
17	DRIVEWAY PAVEMENT REMOVAL	-43.20	SY	\$10.00		(\$432.00)
18	SIDEWALK REMOVAL	-410.20	SF	\$2.00		(\$820.40)
19	MEDIAN REMOVAL	1008.50	SF	\$2.00	\$2,017.00	
20	CL B PATCH TY. II, 8"	-19.00	SY	\$91.00		(\$1,729.00)
21	CL B PATCH TY. IV, 8"	1227.39	SY	\$70.00	\$85,917.22	
22	CL D PATCH TY. II, 3"	-12.00	SY	\$175.00		(\$2,100.00)
23	CL D PATCH TY. III, 8"	-54.60	SY	\$65.00		(\$3,549.00)
24	CL D PATCH TY. IV, 3"	-40.00	SY	\$65.00		(\$2,600.00)
25	CONCRETE MEDIAN TY SB6.06	1008.50	SF	\$7.00	\$7,059.50	
26	PAINT PVT MARK - LINE 4"	3566.80	LF	\$1.25	\$4,458.50	
27	PAINT PVT MARK - LINE 6"	-240.75	LF	\$1.75		(\$421.31)
28	PAINT PVT MARK - LINE 12"	453.80	LF	\$3.50	\$1,588.30	
29	PAINT PVT MARK - LINE 24"	145.50	LF	\$7.00	\$1,018.50	
30	REMOVE AND REINSTALL BRICK PAVERS	-33.00	SF	\$20.00		(\$660.00)
32	HEAVY-DUTY HANDHOLE REM&REPL	-1.00	EACH	\$1,000.00		(\$1,000.00)
85	TRAFFIC CONTROL COMPLETE	0.00	L.SUM	\$75,000.00		
* 91	Traffic Signal at 23rd Street & River Drive	1.00	L.SUM	\$95,055.75	\$95,055.75	
WATER						
5	TRENCH BACKFILL	0.00	CY	\$16.00		
33	DI WATER MAIN 4"	-0.70	LF	\$200.00		(\$140.00)
34	DI WATER MAIN 6"	68.00	LF	\$200.00	\$13,600.00	
35	DI WATER MAIN 8"	8.50	LF	\$100.00	\$850.00	
36	DI WATER MAIN 12"	0.80	LF	\$400.00	\$320.00	
37	DI WATER MAIN 16"	-44.40	LF	\$180.00		(\$7,992.00)
38	DI WATER MAIN TEE, 8"X4"	0.00	EACH	\$360.00		
39	DI WATER MAIN TEE, 8"X6"	1.00	EACH	\$400.00	\$400.00	
40	DI WATER MAIN TEE, 8"X8"	1.00	EACH	\$475.00	\$475.00	
41	DI WATER MAIN TEE, 16"X6"	-1.00	EACH	\$1,475.00		(\$1,475.00)
42	DI WATER MAIN TEE, 16"X16"	0.00	EACH	\$2,250.00		
43	DI WATER MAIN REDUCER, 16"X12"	0.00	EACH	\$900.00		
44	WATER VALVES, 4"	0.00	EACH	\$900.00		
45	WATER VALVES, 6"	0.00	EACH	\$1,050.00		
46	WATER VALVES, 8"	2.00	EACH	\$1,500.00	\$3,000.00	
47	WATER VALVES, 16"	0.00	EACH	\$3,035.00		
48	TAPPING TEE, 8" W/VALVE & BOX	-1.00	EACH	\$5,000.00		(\$5,000.00)
49	SOLID SLEEVE, 4"	-1.00	EACH	\$175.00		(\$175.00)
50	SOLID SLEEVE, 6"	-1.00	EACH	\$225.00		(\$225.00)
51	SOLID SLEEVE, 8"	0.00	EACH	\$275.00		

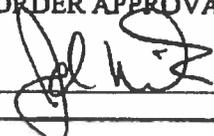
52	DI WATER MAIN PLUG, 6"	-1.00	EACH	\$100.00		(\$100.00)
53	DI WATER MAIN PLUG, 8"	-1.00	EACH	\$140.00		(\$140.00)
54	DI WATER MAIN CAP, 8"	-1.00	EACH	\$146.00		(\$146.00)
55	DI WATER MAIN CAP, 16"	-1.00	EACH	\$825.00		(\$825.00)
56	DI WM FITTING, 4" 90 DEGREE BEND	0.00	EACH	\$165.00		
57	DI WM FITTING, 8" 90 DEGREE BEND	0.00	EACH	\$325.00		
58	DI WM FITTING, 8" 11.25 DEGREE BEND	-1.00	EACH	\$300.00		(\$300.00)
59	DI WM FITTING, 16" 45 DEGREE BEND	-1.00	EACH	\$1,220.00		(\$1,220.00)
60	DI WM FITTING, 16" 11.25 DEGREE BEND	-1.00	EACH	\$1,125.00		(\$1,125.00)
61	FIRE HYDRANT ASSEMBLY COMP	0.00	EACH	\$5,850.00		
62	FIRE HYDRANT TO BE REMOVED	0.00	EACH	\$750.00		
63	TEMP FIRE HYDRANT FOR TESTING	0.00	EACH	\$3,900.00		
64	WATER MAIN ENCASEMENT	-13.00	LF	\$235.00		(\$3,055.00)
65	STANDARD TEST CONNECTION, 1"	2.00	EACH	\$2,435.00	\$4,870.00	
66	VALVE BOXES TO BE REMOVED	-3.00	EACH	\$275.00		(\$825.00)
67	FILLING VALVE VAULTS	0.00	EACH	\$900.00		
68	FILL & ABANDON WATER MAIN, 16"	-21.00	LF	\$18.00		(\$378.00)
*	86 Remove Vault & Change Alignment and Cut In Tee	1.00	L.SUM	\$11,532.50	\$11,532.50	
*	87 Extra Work at RR Tracks	1.00	L.SUM	\$3,653.66	\$3,653.66	
*	88 Water Main @ 19th St. & W. Service @ Riverstone	1.00	L.SUM	\$48,866.79	\$48,866.79	
WPC						
4	ROCK EXCAVATION	1092.88	CY	\$90.00	\$98,359.60	
5	TRENCH BACKFILL	-570.70	CY	\$18.00		(\$9,131.20)
69	DI DANITARY SEWER, P CL 350, 8"	5.10	LF	\$142.00	\$724.20	
70	DI DANITARY SEWER, P CL 350, 12"	-34.00	LF	\$180.00		(\$6,120.00)
71	DI DANITARY SEWER, P CL 350, 36"	68.00	LF	\$500.00	\$34,000.00	
72	MANHOLE, TY A 4' DIA, TIF&CL, BOLT DOWN	1.00	EACH	\$5,100.00	\$5,100.00	
73	MANHOLE, TY A 5' DIA, TIF&CL, BOLT DOWN	-1.00	EACH	\$12,000.00		(\$12,000.00)
74	MANHOLE, TY A 6' DIA, TIF&CL, BOLT DOWN	0.00	EACH	\$19,600.00		
75	SANITARY SEWER SERVICE REMOVE & REPLACE	0.00	EACH	\$13,250.00		
76	MANHOLE TO BE ADJUSTED	-4.00	EACH	\$400.00		(\$1,600.00)
77	CLEANOUT TO BE REMOVED	0.00	EACH	\$400.00		
78	SANITARY MANHOLES TO BE REMOVED	-5.00	EACH	\$700.00		(\$3,500.00)
79	PLUG, FILL, AND ABANDON SEWER, 8"	-45.00	LF	\$4.80		(\$202.50)
80	PLUG, FILL, AND ABANDON SEWER, 12"	2.00	LF	\$5.75	\$11.50	
81	PLUG, FILL, AND ABANDON SEWER, 18"	-5.00	LF	\$11.50		(\$57.50)
82	PLUG, FILL, AND ABANDON SEWER, 20"	-2.00	LF	\$19.00		(\$38.00)
83	PLUG, FILL, AND ABANDON SEWER, 24"	-78.00	LF	\$17.50		(\$1,382.50)
84	PLUG, FILL, AND ABANDON SEWER, 30"	-137.00	LF	\$23.00		(\$3,151.00)
*	88 Added Outside Drop to MH2	1.00	L.SUM	\$5,397.95	\$5,397.95	
*	90 Drop @ Manhole 7	1.00	L.SUM	\$7,131.58	\$7,131.58	
*	92 Splegel Sanitary Lateral	1.00	L.SUM	\$24,061.59	\$24,061.59	
STORM						
31	INLETS TO BE ADJUSTED	1.00	EACH	\$575.00	\$575.00	
*	93 Storm Realignment/Replacement at 23rd Street	1.00	L.SUM	\$19,128.53	\$19,128.53	

* Denotes new item added to contract			Totals		\$569,207.52	(\$100,816.55)
Previous Changes =		Total Changes To-Date = \$488,390.98	Net Change		\$488,390.98	

1-85	Adjustments to final quantity based off of field measurements.
*86	Realignment of the water main at 19th Street and 2nd Avenue was required due to storm sewer conflict
*87	Extra work required at the in point because of an issue with the bypass valve
*88 & *90	Unforeseen drops required at Manhole 2 & 7
*89	Added water main at 19th Street & River Dr. and at Riverstone to accommodate their current water set up
*91	New traffic signal bases and configuration for new intersection
*92	Found an extra san. service lateral at Splegel bldg that needed tied in.
*93	Storm sewer had to be removed due to deterioration noticed while crossing with sanitary sewer

CHANGE ORDER APPROVAL

Contractor: _____



Date: _____

1-13-16

Council Bill/Resolution No. 1012-2016

Sponsor: _____

A RESOLUTION

AUTHORIZING the Mayor and City Clerk to execute a contract with Precision Pavement Markings, Inc. for Project #1239, 2016 Pavement Marking Program, in the amount of \$147,475.00.

WHEREAS, bids were publicly read on January 26, 2016; and

WHEREAS, bids were solicited with Precision Pavement Markings, Inc. submitting the lowest responsible and responsive bid; and

WHEREAS, sufficient funds are available.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MOLINE, ILLINOIS, as follows:

That the Mayor and City Clerk are hereby authorized to execute a contract with Precision Pavement Markings, Inc. for Project #1239, 2016 Pavement Marking Program, in the amount of \$147,475.00; provided, however, that said contract is in substantially similar form and content to that attached hereto and incorporated herein by this reference thereto as Exhibit A and has been approved as to form by the City Attorney.

CITY OF MOLINE, ILLINOIS

Mayor

February 9, 2016
Date

Passed: February 9, 2016

Approved: February 23, 2016

Attest: _____
City Clerk

Approved as to Form:

City Attorney

CITY OF MOLINE CONTRACT

THIS AGREEMENT, made and concluded this _____ day of _____, A.D., 2016, between **PRECISION PAVEMENT MARKINGS, INC.** of **P.O. BOX 705, ELGIN, IL 60121**, hereinafter referred to as the “CONTRACTOR,” and the CITY OF MOLINE, ILLINOIS, hereinafter referred to as the “CITY;”

WITNESSETH, that the CONTRACTOR for and in consideration of the payments to be made to it by the CITY in the amount of **ONE HUNDRED FORTY SEVEN THOUSAND FOUR HUNDRED SEVENTY FIVE AND 00/100 (\$147,475.00) DOLLARS**, hereby covenants and agrees, to and with the CITY, that it shall and will in good and workmanlike manner, furnish all the labor and material for **PROJECT #1239, 2016 PAVEMENT MARKING PROGRAM** as set out in the plans and specifications.

Such work to be under the direction and to the satisfaction of the City Engineer, and in accordance with the plans and specifications, which are a part of this contract. The work to be commenced not later than 10 days after the execution of this contract; to progress regularly and uninterruptedly after it shall have been begun excepting as shall otherwise be ordered by the City Council of the City of Moline (hereinafter referred to as the “City Council”), or its authorized representative, and shall be finished and fully completed within the timeframe set forth in the specifications; the time of commencement, rate of progress and time of completion being essential conditions of this contract; PROVIDED, however that if the time of the performance of the contract herein be for any reason either expressly or by implication extended, such extension shall not affect the validity of this contract.

The Contractor further agrees that the unit prices submitted are for the purpose of obtaining a gross sum, and for use in computing the value of extras and deductions; that if there is a discrepancy between the gross sum bid and that resulting from the summation of the quantities multiplied by their

respective unit prices, the latter shall apply. When this contract shall be wholly carried out and completed on the part of the Contractor, and when said work has been accepted by the City, a sum of money shall be computed by multiplying the following unit prices by the quantity of items completed, it being understood that the following total sum of money listed is for the purpose of determining the amount of the performance, labor, material and maintenance bond only. Such payment shall be made as provided for in the said specifications.

This Contract calls for the construction of a “public work” within the meaning of the Illinois Prevailing Wage Act, 820 ILCS 130/.01 et seq. (“the Act”). The Act requires contractors, subcontractors, and truckers to pay laborers, workers, and mechanics performing services on public works projects not less than the “prevailing rate of wages” (hourly cash wages plus fringe benefits) in the county where the work is performed. The prevailing wage rates for projects for the City of Moline required by Moline Special Ordinance 4023-2015 are updated monthly by the Illinois Department of Labor and may be found at:

http://www.illinois.gov/idol/Laws-Rules/CONMED/rates/2015/june/ROCK_ISL.htm.

All contractors, subcontractors, and truckers rendering services under this contract must comply with all requirements of the Act, including but not limited to, all wage, notice and record keeping duties. All contractors, subcontractors, and truckers shall keep an accurate record showing the names and occupations of all laborers, workers, and mechanics employed by them on this contract, and also showing the actual hourly wages paid to each of such persons and shall preserve their weekly payroll records for a period of three (3) years from the date of completion of the contract. Weekly certified payrolls shall be sent to the City Engineer.

For further information, please refer to the Illinois Department of Labor’s website at:
<http://www.state.il.us/agency/idol>.

It is further provided that the CONTRACTOR shall upon the sealing of this contract, file with the CITY a good and sufficient bond in the penal sum of **ONE HUNDRED FORTY SEVEN**

THOUSAND FOUR HUNDRED SEVENTY FIVE AND 00/100 (\$147,475.00) DOLLARS

conditioned upon the faithful performance and execution of the work covered by this contract according to the complete and detailed specifications and full and complete drawings, profiles and models therefore, and according to the terms and conditions of this contract, and conditioned also that the CONTRACTOR shall pay all debts incurred by said CONTRACTOR in the prosecution of such work, including those for labor and materials furnished. The CONTRACTOR further agrees to pay liquidated damages as set forth in the specifications for failure to complete the Project by the date specified.

IN WITNESS WHEREOF, the said Parties have executed these presents on the date above mentioned.

CONTRACTOR:

CITY:

CITY OF MOLINE, ILLINOIS

By: _____

By: _____

Mayor

Attest: _____

City Clerk

Approved as to form:

City Attorney

Date: _____

Date: _____

Performance Bond Attached

Certificate of Insurance Attached

CITY OF MOLINE, IL BID TABULATION

Bid Date and Time: January 26, 2016 11:00 a.m.

Project: 1239 - 2016 Pavement Marking Program

Precision Pavement Markings, Inc. **Peterson Parking Lot Striping, Inc.**

ITEM NO.	ITEM	APPROX QUANTITY	UNIT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT
1	Paint Pavement Marking Line, 4"	120000	LF	\$0.25	\$30,000.00	\$0.135	\$16,200.00		\$0.00
2	Paint Pavement Marking Line, 6"	12000	LF	\$1.00	\$12,000.00	\$1.85	\$22,200.00		\$0.00
3	Paint Pavement Marking Line, 8"	1000	LF	\$1.25	\$1,250.00	\$2.15	\$2,150.00		\$0.00
4	Paint Pavement Marking Line, 12"	12000	LF	\$2.00	\$24,000.00	\$2.45	\$29,400.00		\$0.00
5	Paint Pavement Marking Line, 24"	6000	LF	\$3.75	\$22,500.00	\$4.00	\$24,000.00		\$0.00
6	Paint Pavement Marking Letters & Symbols	7000	SF	\$4.00	\$28,000.00	\$2.60	\$18,200.00		\$0.00
7	Paint Pavement Marking Line, 4" Special	500	LF	\$0.25	\$125.00	\$0.135	\$67.50		\$0.00
8	Thermoplastic Pavement Marking-Letters & Symbols	1500	SF	\$6.00	\$9,000.00	\$4.95	\$7,425.00		\$0.00
9	Thermoplastic Pavement Marking Line, 24" White	500	LF	\$6.00	\$3,000.00	\$7.30	\$3,650.00		\$0.00
10	Thermoplastic Pavement Marking Line, 12" White	1200	LF	\$3.00	\$3,600.00	\$4.95	\$5,940.00		\$0.00
11	Thermoplastic Pavement Marking Line, 12" Yellow	200	LF	\$3.00	\$600.00	\$4.95	\$990.00		\$0.00
12	Thermoplastic Pavement Marking Line, 6" White	1000	LF	\$1.50	\$1,500.00	\$3.30	\$3,300.00		\$0.00
13	Thermoplastic Pavement Marking Line, 8" White	500	LF	\$2.00	\$1,000.00	\$2.45	\$1,225.00		\$0.00
14	Thermoplastic Pavement Marking Line, 4" White	5000	LF	\$1.00	\$5,000.00	\$1.60	\$8,000.00		\$0.00
15	Thermoplastic Pavement Marking Line, 4" Yellow	5000	LF	\$1.00	\$5,000.00	\$1.60	\$8,000.00		\$0.00
16	Pavement Marking Removal	1000	SF	\$0.90	\$900.00	\$2.30	\$2,300.00		\$0.00
	TOTAL				\$147,475.00		\$153,047.50		\$0.00

Council Bill/Resolution No. 1013-2016
Sponsor: _____

A RESOLUTION

AUTHORIZING the Mayor and City Clerk to execute a contract with Denler, Inc. for Project #1240, 2016 Joint and Crack Sealing Program, in the amount of \$74,300.00.

WHEREAS, bids were publicly read on January 26, 2016; and

WHEREAS, bids were solicited with Denler, Inc. submitting the lowest responsible and responsive bid; and

WHEREAS, sufficient funds are available.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MOLINE, ILLINOIS, as follows:

That the Mayor and City Clerk are hereby authorized to execute a contract with Denler, Inc. for Project #1240, 2016 Joint and Crack Sealing Program, in the amount of \$74,300.00; provided, however, that said contract is in substantially similar form and content to that attached hereto and incorporated herein by this reference thereto as Exhibit A and has been approved as to form by the City Attorney.

CITY OF MOLINE, ILLINOIS

Mayor

February 9, 2016
Date

Passed: February 9, 2016

Approved: February 23, 2016

Attest: _____
City Clerk

Approved as to Form:

City Attorney

CITY OF MOLINE CONTRACT

THIS AGREEMENT, made and concluded this _____ day of _____, A.D., 2016, between **DENLER, INC.** of **19148 SOUTH 104TH AVENUE, MOKENA, IL 60448**, hereinafter referred to as the “CONTRACTOR,” and the CITY OF MOLINE, ILLINOIS, hereinafter referred to as the “CITY;”

WITNESSETH, that the CONTRACTOR for and in consideration of the payments to be made to it by the CITY in the amount of **SEVENTY FOUR THOUSAND THREE HUNDRED AND 00/100 (\$74,300.00) DOLLARS**, hereby covenants and agrees, to and with the CITY, that it shall and will in good and workmanlike manner, furnish all the labor and material for **PROJECT #1240, 2016 JOINT AND CRACK SEALING PROGRAM** as set out in the plans and specifications.

Such work to be under the direction and to the satisfaction of the City Engineer, and in accordance with the plans and specifications, which are a part of this contract. The work to be commenced not later than 10 days after the execution of this contract; to progress regularly and uninterruptedly after it shall have been begun excepting as shall otherwise be ordered by the City Council of the City of Moline (hereinafter referred to as the “City Council”), or its authorized representative, and shall be finished and fully completed within the timeframe set forth in the specifications; the time of commencement, rate of progress and time of completion being essential conditions of this contract; PROVIDED, however that if the time of the performance of the contract herein be for any reason either expressly or by implication extended, such extension shall not affect the validity of this contract.

The Contractor further agrees that the unit prices submitted are for the purpose of obtaining a gross sum, and for use in computing the value of extras and deductions; that if there is a discrepancy between the gross sum bid and that resulting from the summation of the quantities multiplied by their respective unit prices, the latter shall apply. When this contract shall be wholly carried out and

completed on the part of the Contractor, and when said work has been accepted by the City, a sum of money shall be computed by multiplying the following unit prices by the quantity of items completed, it being understood that the following total sum of money listed is for the purpose of determining the amount of the performance, labor, material and maintenance bond only. Such payment shall be made as provided for in the said specifications.

This Contract calls for the construction of a “public work” within the meaning of the Illinois Prevailing Wage Act, 820 ILCS 130/.01 et seq. (“the Act”). The Act requires contractors, subcontractors, and truckers to pay laborers, workers, and mechanics performing services on public works projects not less than the “prevailing rate of wages” (hourly cash wages plus fringe benefits) in the county where the work is performed. The prevailing wage rates for projects for the City of Moline required by Moline Special Ordinance 4023-2015 are updated monthly by the Illinois Department of Labor and may be found at:

http://www.illinois.gov/idol/Laws-Rules/CONMED/rates/2015/june/ROCK_ISL.htm.

All contractors, subcontractors, and truckers rendering services under this contract must comply with all requirements of the Act, including but not limited to, all wage, notice and record keeping duties. All contractors, subcontractors, and truckers shall keep an accurate record showing the names and occupations of all laborers, workers, and mechanics employed by them on this contract, and also showing the actual hourly wages paid to each of such persons and shall preserve their weekly payroll records for a period of three (3) years from the date of completion of the contract. Weekly certified payrolls shall be sent to the City Engineer.

For further information, please refer to the Illinois Department of Labor’s website at:

<http://www.state.il.us/agency/idol>.

It is further provided that the CONTRACTOR shall upon the sealing of this contract, file with the CITY a good and sufficient bond in the penal sum of **SEVENTY FOUR THOUSAND THREE HUNDRED AND 00/100 (\$74,300) DOLLARS** conditioned upon the faithful performance and

execution of the work covered by this contract according to the complete and detailed specifications and full and complete drawings, profiles and models therefore, and according to the terms and conditions of this contract, and conditioned also that the CONTRACTOR shall pay all debts incurred by said CONTRACTOR in the prosecution of such work, including those for labor and materials furnished. The CONTRACTOR further agrees to pay liquidated damages as set forth in the specifications for failure to complete the Project by the date specified.

IN WITNESS WHEREOF, the said Parties have executed these presents on the date above mentioned.

CONTRACTOR:

CITY:

CITY OF MOLINE, ILLINOIS

By: _____

By: _____

Mayor

Attest: _____

City Clerk

Approved as to form:

City Attorney

Date: _____

Date: _____

Performance Bond Attached

Certificate of Insurance Attached

CITY OF MOLINE, IL BID TABULATION

Bid Date and Time: January 26, 2016 11:00 a.m.

Project: 1240 - 2016 Joint and Crack Sealing Program

ITEM NO.	ITEM	APPROX QUANTITY	UNIT	Denler, Inc.		Freehill Asphalt, Inc		NuCoat Sealing, LLC.	
				UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT
1	Crack Routing	90000	LF	\$0.02	\$1,800.00	\$0.10	\$9,000.00	\$0.045	\$4,050.00
2	Crack Filling	50000	POUND	\$1.430	\$71,500.00	\$1.296	\$64,800.00	\$1.45	\$72,500.00
3	Traffic Control Complete	1	L.SUM	\$1,000.00	\$1,000.00	\$1,000.00	\$1,000.00	\$750.00	\$750.00
	TOTAL				\$74,300.00		\$74,800.00		\$77,300.00

ITEM NO.	ITEM	APPROX QUANTITY	UNIT	Patriot Pavement Maintenance		Centennial Contractors of the Quad Cities, Inc.		Walter D. Laud, Inc.	
				UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT
1	Crack Routing	90000	LF	\$0.01	\$900.00	\$0.05	\$4,500.00	\$0.25	\$22,500.00
2	Crack Filling	50000	POUND	\$1.52	\$76,000.00	\$1.72	\$86,000.00	\$1.75	\$87,500.00
3	Traffic Control Complete	1	L.SUM	\$500.00	\$500.00	\$1,500.00	\$1,500.00	\$5,000.00	\$5,000.00
	TOTAL				\$77,400.00		\$92,000.00		\$115,000.00

Council Bill/Resolution No. 1014-2016

Sponsor: _____

A RESOLUTION

AUTHORIZING the purchase of three grounds maintenance units for the Parks and Recreation Department from Deere and Company in Cary, North Carolina, in the amount of \$85,503.91.

WHEREAS, several mowing units in the Parks and Recreation Department have exceeded their useful life; and

WHEREAS, the Illinois Association of County Board Members and Commissioners has bid discounts that are extended to all constituents from Deere and Company on contract #14-04-00777-A; and

WHEREAS, Deere and Company in Cary, North Carolina, is able to furnish three of the recommended mowing systems with three hydraulic angling front blades at the discounted price of \$85,503.91.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MOLINE, ILLINOIS, as follows:

That the City Council finds it in the best interest of the City of Moline, Illinois, to authorize the purchase of three grounds maintenance units for the Parks and Recreation Department from Deere and Company in Cary, North Carolina, in the amount of \$85,503.91; provided, however, that said quote is in substantially similar form and content to that attached hereto and incorporated herein by this reference thereto as Exhibit A and has been approved as to form by the City Attorney.

CITY OF MOLINE, ILLINOIS

Mayor

February 9, 2016

Date

Passed: February 9, 2016

Approved: February 23, 2016

Attest: _____
City Clerk

Approved as to Form:

City Attorney



ALL PURCHASE ORDERS MUST BE MADE OUT TO (VENDOR):

Deere & Company
2000 John Deere Run
Cary, NC 27513
FED ID: 36-2382580; DUNS#: 60-7690989

ALL PURCHASE ORDERS MUST BE SENT TO DELIVERING DEALER:

Holland & Sons, Inc.
939 Us Hwy 6 East
Geneseo, IL 61254
309-944-2101
DDeSplinter@hollandandsons.com

Quote Summary

Prepared For:

City Of Moline
3635 4th Ave
Moline, IL 61265
Business: 309-524-2380

Delivering Dealer:

Holland & Sons, Inc.
Justin Goodrich
939 Us Hwy 6 East
Geneseo, IL 61254
Phone: 309-944-2101
jgoodrich@hollandandsons.com

Quote ID: 12660432
Created On: 18 January 2016
Last Modified On: 20 January 2016
Expiration Date: 17 February 2016

Equipment Summary	Selling Price	Qty	Extended
JOHN DEERE 1570 TerrainCut Commercial Front Mower (Less Mower Deck) Contract: IL Assoc of County Board Members_14-04-00777-A Price Effective Date: January 18, 2016	\$ 23,357.98 X	1 =	\$ 23,357.98
JOHN DEERE 1570 TerrainCut Commercial Front Mower (Less Mower Deck) Contract: IL Assoc of County Board Members_14-04-00777-A Price Effective Date: January 18, 2016	\$ 23,357.98 X	1 =	\$ 23,357.98
JOHN DEERE 1570 TerrainCut Commercial Front Mower-Dual Drive Tires Contract: IL Assoc of County Board Members_14-04-00777-A Price Effective Date: January 18, 2016	\$ 24,083.26 X	1 =	\$ 24,083.26
JOHN DEERE 62"RD DECK - FRONT MOWER Contract: IL Assoc of County Board Members_14-04-00777-A Price Effective Date: January 18, 2016	\$ 3,257.10 X	2 =	\$ 6,514.20
JOHN DEERE 72SD DECK (DOM) FRONT MOWER Contract: IL Assoc of County Board Members_14-04-00777-A Price Effective Date: January 18, 2016	\$ 3,685.99 X	1 =	\$ 3,685.99

Salesperson : X _____

Accepted By : X _____



ALL PURCHASE ORDERS MUST BE MADE OUT TO (VENDOR):

Deere & Company
2000 John Deere Run
Cary, NC 27513
FED ID: 36-2382580; DUNS#: 60-7690989

ALL PURCHASE ORDERS MUST BE SENT TO DELIVERING DEALER:

Holland & Sons, Inc.
939 Us Hwy 6 East
Geneseo, IL 61254
309-944-2101
DDeSplinter@hollandandsons.com

JOHN DEERE 60 In. Heavy-Duty Hydraulic Angling Front Blade (For 1500 TerrainCut Front Mowers, 1400/1500 Series II and Non-Series II Front Mowers) \$ 1,501.50 X 3 = \$ 4,504.50

Contract: IL Assoc of County Board Members_14-04-00777-A

Price Effective Date: January 18, 2016

Equipment Total \$ 85,503.91

* Includes Fees and Non-contract items

Quote Summary

Equipment Total	\$ 85,503.91
Trade In	
SubTotal	\$ 85,503.91
Total	\$ 85,503.91
Down Payment	(0.00)
Rental Applied	(0.00)
Balance Due	\$ 85,503.91

Salesperson : X _____

Accepted By : X _____



Selling Equipment

Quote Id: 12660432 Customer Name: CITY OF MOLINE

ALL PURCHASE ORDERS MUST BE MADE OUT TO (VENDOR):

Deere & Company
2000 John Deere Run
Cary, NC 27513
FED ID: 36-2382580; DUNS#: 60-7690989

ALL PURCHASE ORDERS MUST BE SENT TO DELIVERING DEALER:

Holland & Sons, Inc.
939 Us Hwy 6 East
Geneseo, IL 61254
309-944-2101
DDeSplinter@hollandandsons.com

JOHN DEERE 1570 TerrainCut Commercial Front Mower (Less Mower Deck)

Hours:

Stock Number:

Contract: IL Assoc of County Board Members_14-04-00777-
A

Selling Price *
\$ 23,357.98

Price Effective Date: January 18, 2016

* Price per item - includes Fees and Non-contract items

Code	Description	Qty	List Price	Discount%	Discount Amount	Contract Price	Extended Contract Price
2430TC	1570 TerrainCut Commercial Front Mower (Less Mower Deck)	1	\$ 25,916.00	23.00	\$ 5,960.68	\$ 19,955.32	\$ 19,955.32
Standard Options - Per Unit							
001A	United States and Canada	1	\$ 0.00	23.00	\$ 0.00	\$ 0.00	\$ 0.00
1019	23x10.50-12 4PR Turf Drive Tires	1	\$ 0.00	23.00	\$ 0.00	\$ 0.00	\$ 0.00
1191	Four Wheel Drive (Full Time or On Demand)	1	\$ 2,913.00	23.00	\$ 669.99	\$ 2,243.01	\$ 2,243.01
2012	Air Ride Suspension Seat with Armrests	1	\$ 680.00	23.00	\$ 156.40	\$ 523.60	\$ 523.60
Standard Options Total			\$ 3,593.00		\$ 826.39	\$ 2,766.61	\$ 2,766.61
Dealer Attachments/Non-Contract/Open Market							
R66949	Quik-Tatch Weight, 42 Lb.	2	\$ 59.91	23.00	\$ 13.78	\$ 46.13	\$ 92.26
TCB10303	Rear Weight Mounting Kit	1	\$ 112.36	23.00	\$ 25.84	\$ 86.52	\$ 86.52
BTC10530	Single Spool Auxiliary Hydraulic Kit	1	\$ 593.86	23.00	\$ 136.59	\$ 457.27	\$ 457.27
Dealer Attachments Total			\$ 766.13		\$ 176.21	\$ 589.92	\$ 636.05
Suggested Price							\$ 23,357.98
Total Selling Price			\$ 30,275.13		\$ 6,963.28	\$ 23,311.85	\$ 23,357.98

JOHN DEERE 1570 TerrainCut Commercial Front Mower (Less Mower Deck)



Selling Equipment

Quote Id: 12660432 Customer Name: CITY OF MOLINE

ALL PURCHASE ORDERS MUST BE MADE OUT TO (VENDOR):
 Deere & Company
 2000 John Deere Run
 Cary, NC 27513
 FED ID: 36-2382580; DUNS#: 60-7690989

ALL PURCHASE ORDERS MUST BE SENT TO DELIVERING DEALER:
 Holland & Sons, Inc.
 939 Us Hwy 6 East
 Geneseo, IL 61254
 309-944-2101
 DDeSplinter@hollandandsons.com

Equipment Notes:

Hours:

Stock Number:

Selling Price *

Contract: IL Assoc of County Board Members_14-04-00777-A

\$ 23,357.98

Price Effective Date: January 18, 2016

* Price per item - includes Fees and Non-contract items

Code	Description	Qty	List Price	Discount%	Discount Amount	Contract Price	Extended Contract Price
2430TC	1570 TerrainCut Commercial Front Mower (Less Mower Deck)	1	\$ 25,916.00	23.00	\$ 5,960.68	\$ 19,955.32	\$ 19,955.32
Standard Options - Per Unit							
001A	United States and Canada	1	\$ 0.00	23.00	\$ 0.00	\$ 0.00	\$ 0.00
1019	23x10.50-12 4PR Turf Drive Tires	1	\$ 0.00	23.00	\$ 0.00	\$ 0.00	\$ 0.00
1191	Four Wheel Drive (Full Time or On Demand)	1	\$ 2,913.00	23.00	\$ 669.99	\$ 2,243.01	\$ 2,243.01
2012	Air Ride Suspension Seat with Armrests	1	\$ 680.00	23.00	\$ 156.40	\$ 523.60	\$ 523.60
Standard Options Total			\$ 3,593.00		\$ 826.39	\$ 2,766.61	\$ 2,766.61
Dealer Attachments/Non-Contract/Open Market							
R66949	Quik-Tatch Weight, 42 Lb.	2	\$ 59.91	23.00	\$ 13.78	\$ 46.13	\$ 92.26
TCB10303	Rear Weight Mounting Kit	1	\$ 112.36	23.00	\$ 25.84	\$ 86.52	\$ 86.52
BTC10530	Single Spool Auxiliary Hydraulic Kit	1	\$ 593.86	23.00	\$ 136.59	\$ 457.27	\$ 457.27
Dealer Attachments Total			\$ 766.13		\$ 176.21	\$ 589.92	\$ 636.05
Suggested Price							\$ 23,357.98
Total Selling Price			\$ 30,275.13		\$ 6,963.28	\$ 23,311.85	\$ 23,357.98

JOHN DEERE 1570 TerrainCut Commercial Front Mower-Dual Drive Tires



Selling Equipment

Quote Id: 12660432 Customer Name: CITY OF MOLINE

ALL PURCHASE ORDERS MUST BE MADE OUT TO (VENDOR):

Deere & Company
2000 John Deere Run
Cary, NC 27513
FED ID: 36-2382580; DUNS#: 60-7690989

ALL PURCHASE ORDERS MUST BE SENT TO DELIVERING DEALER:

Holland & Sons, Inc.
939 Us Hwy 6 East
Geneseo, IL 61254
309-944-2101
DDeSplinter@hollandandsons.com

Equipment Notes:

Hours:

Stock Number:

Selling Price *

Contract: IL Assoc of County Board Members_14-04-00777-A

\$ 24,083.26

Price Effective Date: January 18, 2016

* Price per item - includes Fees and Non-contract items

Code	Description	Qty	List Price	Discount%	Discount Amount	Contract Price	Extended Contract Price
2430TC	1570 TerrainCut Commercial Front Mower (Less Mower Deck)	1	\$ 25,916.00	23.00	\$ 5,960.68	\$ 19,955.32	\$ 19,955.32
Standard Options - Per Unit							
001A	United States and Canada	1	\$ 0.00	23.00	\$ 0.00	\$ 0.00	\$ 0.00
1020	23x8.50-12 4PR Turf Drive Tires	1	\$ -35.00	23.00	\$ -8.05	\$ -26.95	\$ -26.95
1191	Four Wheel Drive (Full Time or On Demand)	1	\$ 2,913.00	23.00	\$ 669.99	\$ 2,243.01	\$ 2,243.01
2012	Air Ride Suspension Seat with Armrests	1	\$ 680.00	23.00	\$ 156.40	\$ 523.60	\$ 523.60
Standard Options Total			\$ 3,558.00		\$ 818.34	\$ 2,739.66	\$ 2,739.66
Dealer Attachments/Non-Contract/Open Market							
BTC10530	Single Spool Auxiliary Hydraulic Kit	1	\$ 593.86	23.00	\$ 136.59	\$ 457.27	\$ 457.27
R66949	Quik-Tatch Weight, 42 Lb.	2	\$ 59.91	23.00	\$ 13.78	\$ 46.13	\$ 92.26
TCB10303	Rear Weight Mounting Kit	1	\$ 112.36	23.00	\$ 25.84	\$ 86.52	\$ 86.52
TCB10013	Dual Wheel Conversion Kit For 23x8.50-12 In. Drive Tires	2	\$ 298.53	23.00	\$ 68.66	\$ 229.87	\$ 459.74
TCB10413	Two Wheels with 23x8.50-12 In. 4PR Turf Drive Tires	1	\$ 379.86	23.00	\$ 87.37	\$ 292.49	\$ 292.49
Dealer Attachments Total			\$ 1,444.52		\$ 332.24	\$ 1,112.28	\$ 1,388.28
Suggested Price						\$ 24,083.26	
Total Selling Price			\$ 30,918.52		\$ 7,111.26	\$ 23,807.26	\$ 24,083.26



Selling Equipment

Quote Id: 12660432 Customer Name: CITY OF MOLINE

ALL PURCHASE ORDERS MUST BE MADE OUT TO (VENDOR):

Deere & Company
 2000 John Deere Run
 Cary, NC 27513
 FED ID: 36-2382580; DUNS#: 60-7690989

ALL PURCHASE ORDERS MUST BE SENT TO DELIVERING DEALER:

Holland & Sons, Inc.
 939 Us Hwy 6 East
 Geneseo, IL 61254
 309-944-2101
 DDeSplinter@hollandandsons.com

JOHN DEERE 62"RD DECK - FRONT MOWER

Equipment Notes:

Hours:

Stock Number:

Selling Price *

Contract: IL Assoc of County Board Members_14-04-00777-
 A

\$ 3,257.10

Price Effective Date: January 18, 2016

* Price per item - includes Fees and Non-contract items

Code	Description	Qty	List Price	Discount%	Discount Amount	Contract Price	Extended Contract Price
0352TC	62 In. Fastback Commercial Rear Discharge Deck (For 1500 TerrainCut Front Mowers and 1400's Series II and Non-Series II Front Mowers)	2	\$ 4,230.00	23.00	\$ 972.90	\$ 3,257.10	\$ 6,514.20
Standard Options - Per Unit							
001A	United States and Canada	2	\$ 0.00	23.00	\$ 0.00	\$ 0.00	\$ 0.00
Standard Options Total			\$ 0.00		\$ 0.00	\$ 0.00	\$ 0.00
Suggested Price							\$ 6,514.20
Total Selling Price			\$ 4,230.00		\$ 972.90	\$ 3,257.10	\$ 6,514.20

JOHN DEERE 72SD DECK (DOM) FRONT MOWER

Equipment Notes:

Hours:

Stock Number:

Selling Price *

Contract: IL Assoc of County Board Members_14-04-00777-
 A

\$ 3,685.99

Price Effective Date: January 18, 2016

* Price per item - includes Fees and Non-contract items



Selling Equipment

Quote Id: 12660432 Customer Name: CITY OF MOLINE

ALL PURCHASE ORDERS MUST BE MADE OUT TO (VENDOR):

Deere & Company
2000 John Deere Run
Cary, NC 27513
FED ID: 36-2382580; DUNS#: 60-7690989

ALL PURCHASE ORDERS MUST BE SENT TO DELIVERING DEALER:

Holland & Sons, Inc.
939 Us Hwy 6 East
Geneseo, IL 61254
309-944-2101
DDeSplinter@hollandandsons.com

Code	Description	Qty	List Price	Discount%	Discount Amount	Contract Price	Extended Contract Price
0347TC	72 In. 7-Iron PRO Commercial Side Discharge Mower Deck (For 1500 TerrainCut Front Mowers and 1400/1500's Series II and non Series II Front Mowers)	1	\$ 4,787.00	23.00	\$ 1,101.01	\$ 3,685.99	\$ 3,685.99
Standard Options - Per Unit							
001A	United States and Canada	1	\$ 0.00	23.00	\$ 0.00	\$ 0.00	\$ 0.00
Standard Options Total			\$ 0.00		\$ 0.00	\$ 0.00	\$ 0.00
Suggested Price							\$ 3,685.99
Total Selling Price			\$ 4,787.00		\$ 1,101.01	\$ 3,685.99	\$ 3,685.99

JOHN DEERE 60 In. Heavy-Duty Hydraulic Angling Front Blade (For 1500

Equipment Notes:

Hours:

Stock Number:

Contract: IL Assoc of County Board Members_14-04-00777-A

Selling Price *

\$ 1,501.50

Price Effective Date: January 18, 2016

* Price per item - includes Fees and Non-contract items

Code	Description	Qty	List Price	Discount%	Discount Amount	Contract Price	Extended Contract Price
0390TC	60 In. Heavy-Duty Hydraulic Angling Front Blade (For 1500 TerrainCut Front Mowers, 1400/1500 Series II and Non-Series II Front Mowers)	3	\$ 1,732.00	23.00	\$ 398.36	\$ 1,333.64	\$ 4,000.92
Standard Options - Per Unit							
1000	Lift Arms and Hardware	3	\$ 218.00	23.00	\$ 50.14	\$ 167.86	\$ 503.58
Standard Options Total			\$ 218.00		\$ 50.14	\$ 167.86	\$ 503.58



Selling Equipment

Quote Id: 12660432 Customer Name: CITY OF MOLINE

ALL PURCHASE ORDERS MUST BE MADE OUT TO (VENDOR):

Deere & Company
2000 John Deere Run
Cary, NC 27513
FED ID: 36-2382580; DUNS#: 60-7690989

ALL PURCHASE ORDERS MUST BE SENT TO DELIVERING DEALER:

Holland & Sons, Inc.
939 Us Hwy 6 East
Geneseo, IL 61254
309-944-2101
DDeSplinter@hollandandsons.com

Suggested Price				\$ 4,504.50
Total Selling Price	\$ 1,950.00	\$ 448.50	\$ 1,501.50	\$ 4,504.50

AN ORDINANCE

AMENDING Chapter 8, “BUILDINGS AND OTHER CONTRUCTION AND BUILDING SERVICES,” of the Moline Code of Ordinances, Section 8-3101, “AMENDMENTS TO MOLINE MECHANICAL CODE,” by repealing subsection (k) in its entirety and enacting in lieu thereof one new subsection (k) dealing with the same subject matter.

WHEREAS, it is in the City’s best interest to establish building and construction guidelines to protect the health, safety and welfare of City residents; and

WHEREAS, City staff recommends an amendment to Section 8-3101, subsection (k), of the Moline Code of Ordinances, that provides clarification concerning the installation of ventless fireplaces; and

WHEREAS, ventless fireplaces should be installed according to the manufacturer’s instructions to protect the health, safety and welfare of City residents.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MOLINE, ILLINOIS, as follows:

Section 1 – That Chapter 8, “BUILDINGS AND OTHER CONSTRUCTION AND BUILDING SERVICES,” of the Moline Code of Ordinances, Section 8-3101, “AMENDMENTS TO MOLINE MECHANICAL CODE,” is hereby amended by repealing subsection (k) in its entirety and enacting in lieu thereof one new subsection (k) dealing with the same subject matter, which shall read as follows:

“SEC. 8-3101. AMENDMENTS TO MOLINE MECHANICAL CODE.

* * * * *

(k) **Section 901 General.**

Add one new subsection:

“901.5 Ventilation. All gas and/or wood burning appliances must be vented, except ventless fireplaces which must be installed according to the manufacturer’s instructions.”

* * * * *

Section 2 – That this ordinance shall be in full force and effect from and after passage, approval, and if required by law, publication in the manner provided for by law.

CITY OF MOLINE, ILLINOIS

Mayor

Date

Passed: _____

Approved: _____

Attest: _____
City Clerk

Approved as to Form:

City Attorney

Council Bill/Special Ordinance No. 4006-2016

Sponsor: _____

A SPECIAL ORDINANCE

AUTHORIZING the Mayor and City Clerk to execute a Lease Agreement (“Agreement”) between the City of Moline (“City”) and GTE Wireless of the Midwest Incorporated, an Indiana corporation d/b/a Verizon Wireless (“Verizon”), where said Agreement leases a portion of the space on the City’s water tower, located at 531 15th Avenue, so that Verizon may install, maintain and operate its radio telecommunications equipment, antennas and appurtenances, or for such other specified uses in said Agreement.

WHEREAS, the City has a portion of the space on the water tower located at 531 15th Avenue that is available to lease; and

WHEREAS, Verizon is interested in entering into the aforementioned Agreement to lease a portion of the space on the aforementioned water tower to install, maintain and operate its radio telecommunications equipment, antennas and appurtenances, or for such other specified uses in said Agreement; and

WHEREAS, the term of the Agreement will commence on April 1, 2016; and

WHEREAS, the initial term for the Agreement shall be for five (5) years and shall automatically be extended for three (3) additional five (5) year terms, with one additional automatic five (5) year term if neither party has terminated the Agreement prior to the expiration of the current term; and

WHEREAS, the annual rental for the first year of the Agreement shall be Fourteen Thousand Four Hundred and no/100 Dollars (\$14,400.00), and said annual rental shall increase by an amount equal to three percent (3%) of the total annual rent for the immediately preceding lease year.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MOLINE, ILLINOIS, as follows:

Section 1 – That the Mayor and City Clerk are hereby authorized to execute, on behalf of the City of Moline, the aforementioned Lease Agreement; provided, however, that said Lease Agreement is in substantially similar form and content to that attached hereto and incorporated herein by this reference thereto as Exhibit A and has been approved as to form by the City Attorney.

Section 2 – That this ordinance shall not constitute a repeal of any ordinance with which it may conflict, but shall be considered a temporary variance from said conflicting ordinance.

Section 3 – That this ordinance shall be in full force and effect from and after passage, approval, and if required by law, publication in the manner provided for by law.

CITY OF MOLINE, ILLINOIS

Mayor

Date

Passed: _____

Approved: _____

Attest: _____

City Clerk

Approved as to Form:

City Attorney

SITE NAME: Stephens Park WT
SITE NUMBER:
ATTY/DATE: GJ

WATER TOWER LEASE AGREEMENT

This Agreement, made this ____ day of _____, 20__ , between the City of Moline, an Illinois municipal corporation, with its principal offices located at 619 16th Street, Moline, Illinois 61265, hereinafter designated "LESSOR" and GTE Wireless of the Midwest Incorporated, an Indiana corporation d/b/a Verizon Wireless, with its principal offices at One Verizon Way, Mail Stop 4AW100, Basking Ridge, New Jersey 07920 (telephone number 866-862-4404), hereinafter designated "LESSEE". The LESSOR and LESSEE are at times collectively referred to hereinafter as the "Parties" or individually as the "Party".

WITNESSETH

In consideration of the mutual covenants contained herein and intending to be legally bound hereby, the Parties hereto agree as follows:

1. PREMISES. LESSOR hereby leases to the LESSEE a portion of that certain space on the LESSOR's water tower, hereinafter referred to as the "Tower", located at 531 15th Avenue, City of Moline, Rock Island County, Illinois ("the Tower Space") as shown on the Tax Map of the City of Moline as Parcel Identification Number 1706200001 and being further described in Deed Book 143 at Page 564 as recorded in the Office of the Rock Island County Recorder (the entirety of LESSOR's property is referred to hereinafter as the "Property"), together with a 36' x 20' parcel of land sufficient for the installation of LESSEE's equipment building (the "Land Space"); together with the non-exclusive right for ingress and egress, seven (7) days a week, twenty-four (24) hours a day, on foot or motor vehicle, including trucks over a twelve foot (12') wide right-of-way (the "Access Right of Way"), and for the installation and maintenance of utility wires, poles, cables, conduits, and pipes over, under, or along an eight foot (8') wide right-of-way ("Utility Right of Way") and a separate eight foot (8') wide right-of-way ("Gas Right of Way") extending from the nearest public right-of-way, 7th Street, to the Land Space. The Tower Space, Land Space, Access Right of Way, Utility Right of Way, and Gas Right of Way are all described in Exhibit "A", attached hereto and made a part hereof demised premises and are collectively referred to hereinafter as the "Premises".

If any public utility is unable to use the Utility Right of Way or Gas Right of Way, the LESSOR hereby agrees to grant an additional right-of-way(s) either to the LESSEE or to the public utility, in a location to be mutually agreed to by the Parties. The Parties further agree that they will vacate any unused right-of-way.

LESSOR hereby grants permission to LESSEE to install, maintain and operate the radio telecommunications equipment, antennas and appurtenances described in Exhibit "B" attached hereto, or for such other specified uses as shall be agreed to by written agreement of the Parties.

2. SURVEY. LESSOR also hereby grants to LESSEE the right to survey the Property and Premises, and said survey shall then become Exhibit "C" which shall be attached hereto and

made a part hereof, and shall control in the event of boundary and access discrepancies between it and Exhibit "A". Cost for such work shall be borne by the LESSEE.

3. TERM; INITIAL RENTAL; ELECTRICAL.

a. This Agreement shall be effective as of the date of execution by both Parties, provided, however, the initial term shall be for five (5) years and shall commence on the Commencement Date (as hereinafter defined) at which time rental payments shall commence and be due. The annual rental for the first year of the Agreement shall be Fourteen Thousand Four Hundred and 00/100 Dollars (\$14,400.00), to be paid in equal monthly installments on the first day of the month, in advance, to LESSOR or to such other person, firm or place as LESSOR may, from time to time, designate in writing at least thirty (30) days in advance of any rental payment date by notice given in accordance with Paragraph 25 below. The Agreement shall commence on April 1, 2016 ("Commencement Date"). LESSOR and LESSEE acknowledge and agree that initial rental payment(s) shall not actually be sent by LESSEE until thirty (30) days after the Commencement Date.

Upon agreement of the Parties, LESSEE may pay rent by electronic funds transfer and in such event, LESSOR agrees to provide to LESSEE bank routing information for such purpose upon request of LESSEE.

b. LESSOR hereby agrees to provide to LESSEE certain documentation (the "Rental Documentation") necessary for LESSEE to comply with tax and information return reporting rules of the Internal Revenue Service ("IRS"), or state and local governments, including, without limitation, IRS Form W-9 and applicable state withholding forms, in a form acceptable to LESSEE, prior to execution of this Agreement by the Parties, and at such other times during the term of the Agreement as may be reasonably requested by LESSEE. Delivery of Rental Documentation to LESSEE shall be a prerequisite for the payment of any rent by LESSEE and notwithstanding anything to the contrary herein, LESSEE shall have no obligation to make any rental payments until Rental Documentation has been supplied to LESSEE as provided herein.

Within fifteen (15) days of obtaining an interest in the Property or this Agreement, any assignee(s), transferee(s), or other successor(s) in interest of LESSOR, shall provide to LESSEE Rental Documentation in the manner set forth in the preceding paragraph. From time to time during the Term of this Agreement and within thirty (30) days of a written request from LESSEE, any assignee(s) or transferee(s) of LESSOR agrees to provide updated Rental Documentation in a form reasonably acceptable to LESSEE. Delivery of Rental Documentation to LESSEE by any assignee(s), transferee(s) or other successor(s) in interest of LESSOR shall be a prerequisite for the payment of any rent by LESSEE to such party and notwithstanding anything to the contrary herein, LESSEE shall have no obligation to make any rental payments to any assignee(s), transferee(s), or other successor(s) in interest of LESSOR, until Rental Documentation has been supplied to LESSEE as provided herein.

c. LESSOR shall, at all times during the Term, allow LESSEE to have electrical service and telephone service access within the Premises. LESSOR must be advised of any electrical or telephone service on the Premises. If permitted by the local utility company servicing the Premises, LESSEE shall furnish and install an electrical meter at the Premises for the measurement of electrical power used by LESSEE's installation. In the alternative, if permitted by the local utility company servicing the Premises, LESSEE shall furnish and install an electrical sub-meter at the Premises for the measurement of electrical power used by LESSEE's installation. In the event such sub-meter is installed, the LESSEE shall pay the utility directly for its power consumption, if billed by the utility, and if not billed by the utility, then the LESSEE shall pay the LESSOR thirty (30) days after receipt of an invoice from LESSOR indicating the usage amount based upon LESSOR's reading of the sub-meter. All invoices for power consumption shall be sent by LESSOR to LESSEE at Verizon Wireless, P.O. Box 182727, Columbus Ohio 43218. LESSEE may be permitted at any time during the Term, to install, maintain and/or provide access to and use of, as necessary (during any power interruption at the Premises), a temporary power source, and all related equipment and appurtenances within the Premises, or elsewhere on the Property in such locations all as reasonably approved by LESSOR prior to placement. Upon specific approval from LESSOR, LESSEE shall have the right to install conduits connecting the temporary power source and related appurtenances to the Premises.

4. EXTENSIONS. This Agreement shall automatically be extended for three (3) additional five (5) year terms unless LESSEE terminates it at the end of the then current term by giving LESSOR written notice of the intent to terminate at least six (6) months prior to the end of the then current term.

5. RENTAL INCREASES. The annual rental shall increase on the yearly anniversary of the Commencement Date by an amount equal to three percent (3%) of the total annual rent for the immediately preceding lease year.

6. ADDITIONAL EXTENSIONS. If at the end of the third (3rd) five (5) year extension term this Agreement has not been terminated by either Party by giving to the other written notice of an intention to terminate it at least six (6) months prior to the end of such term, this Agreement shall continue in force upon the same covenants, terms and conditions for one (1) further term of five (5) years. The annual rental during such additional extension term, if any, shall continue to increase as set forth in paragraph 5 above. The initial term and all extensions shall be collectively referred to herein as the "Term".

7. TAXES. LESSEE shall have the responsibility to pay any personal property, real estate taxes, assessments, or charges owed on the Property which LESSOR demonstrates is the result of LESSEE's use of the Premises and/or the installation, maintenance, and operation of the LESSEE's improvements, and any sales tax imposed on the rent (except to the extent that LESSEE is or may become exempt from the payment of sales tax in the jurisdiction in which the Property is located), including any increase in real estate taxes at the Property which LESSOR demonstrates arises from the LESSEE's improvements and/or LESSEE's use of the Premises. LESSEE shall be responsible for the payment of any taxes, levies, assessments and other charges

imposed including franchise and similar taxes imposed upon the business conducted by LESSEE at the Property. Notwithstanding the foregoing, LESSEE shall not have the obligation to pay any tax, assessment, or charge that LESSEE is disputing in good faith in appropriate proceedings prior to a final determination that such tax is properly assessed, provided that no lien attaches to the Property. Nothing in this Paragraph shall be construed as making LESSEE liable for any portion of LESSOR's income taxes in connection with the Property or otherwise. Except as set forth in this Paragraph, LESSOR shall have the responsibility to pay any personal property, real estate taxes, assessments, or charges owed on the Property and shall do so prior to the imposition of any lien on the Property. LESSEE's failure to comply with the provisions of this Paragraph 7 shall be considered a material breach of this Agreement and be subject to the terms of Paragraphs 29 and 30 below.

LESSEE shall have the right, at its sole option and at its sole cost and expense, to appeal, challenge or seek modification of any tax assessment or billing for which LESSEE is wholly or partly responsible for payment. In the event that as a result of any appeal or challenge by LESSEE, there is a reduction, credit or repayment received by the LESSOR for any taxes previously paid by LESSEE, LESSOR agrees to promptly reimburse to LESSEE the amount of said reduction, credit or repayment.

8. USE; GOVERNMENTAL APPROVALS. LESSEE shall use the Premises for the purpose of constructing, maintaining, repairing and operating a radio telecommunications facility and uses incidental thereto. The Parties agree that LESSEE may install its antennas, equipment and conduits, as described in Exhibit "B", on the Tower in the locations designated and approved by LESSOR, as set forth in the plans and specifications attached hereto as Exhibit "B". All improvements and installations shall be done at LESSEE'S expense. LESSEE shall have the right to replace, repair, add or otherwise modify (collectively, the "Modifications") its utilities, equipment, antennas and/or conduits on the Tower identified on attached Exhibit "B", during the Term, upon the prior written approval of LESSOR, which approval shall not be unreasonably withheld, conditioned, or delayed. LESSEE agrees to repair any damage to the Property directly caused by the installation, operation, or use of LESSEE's facility, upon receipt of written notice from LESSOR. It is understood and agreed that LESSEE's ability to use the Premises is contingent upon its obtaining after the execution date of this Agreement all of the certificates, permits and other approvals (collectively the "Governmental Approvals") that may be required by any Federal, State or Local authorities, which will permit LESSEE use of the Premises as set forth above. LESSEE shall obtain LESSOR's prior approval before conducting any soil boring tests on the Property or a structural analysis on the Tower, which approval shall not be unreasonably withheld, conditioned or delayed. LESSOR shall cooperate with LESSEE in its effort to obtain such approvals and shall take no action which would adversely affect the status of the Property with respect to the proposed use thereof by LESSEE, unless LESSOR is required by law to take such action or to protect the public utility. In the event that (i) any of such applications for such Governmental Approvals should be finally rejected; (ii) any Governmental Approval issued to LESSEE is canceled, expires, lapses, or is otherwise withdrawn or terminated by governmental authority; (iii) LESSEE determines that such Governmental Approvals may not be obtained in a timely manner; (iv) LESSEE determines that any soil boring tests or structural

analysis is unsatisfactory; (v) LESSEE determines that the Premises is no longer technically or structurally compatible for its use, or (vi) LESSEE, in its sole discretion, determines that the use the Premises is obsolete or unnecessary, LESSEE shall have the right to terminate this Agreement. Notice of LESSEE's exercise of its right to terminate shall be given to LESSOR in writing by certified mail, return receipt requested, and shall be effective upon the mailing of such notice by LESSEE, or upon such later date as designated by LESSEE. All rentals paid prior to said termination date shall be retained by LESSOR. LESSEE shall be responsible for payment of rent up to the termination date, which amount may be prorated. Upon such termination, this Agreement shall be of no further force or effect except to the extent of the representations, warranties and indemnities made by each Party to the other hereunder. Otherwise, the LESSEE shall have no further obligations for the payment of rent to LESSOR, unless LESSEE fails to remove its equipment from the Premises by the termination date. If LESSEE holds over after the termination of the Agreement, then LESSEE shall be responsible for paying rent as specified in Paragraph 17 below.

9. INDEMNIFICATION. Subject to Paragraph 10 below, each Party shall defend, indemnify and hold the other harmless from and against any claim of liability or loss from personal injury or property damage resulting from or arising out of the negligence or willful misconduct of the indemnifying Party, its employees, contractors or agents, except to the extent such claims or damages may be due to or caused by the negligence or willful misconduct of the other Party, or its employees, contractors or agents.

10. INSURANCE.

a. LESSEE will maintain at its own cost;

i. Commercial General Liability insurance, including premises-operations, explosion, collapse, and underground hazard (commonly referred to as "X," "C," and "U" coverages) and products-completed operations coverage with limits of:

1. Two million dollars (\$2,000,000.00) per occurrence for bodily injury (including death) and for damage to property; and

2. Two million dollars (\$2,000,000.00) aggregate;

ii. Automobile Liability insurance on all owned, non-owned and hired vehicles in the amount of One Million Dollars (\$1,000,000) combined single each accident for bodily injury and property damage per occurrence;

iii. Workers Compensation insurance with statutory limits; and

iv. Employer's liability insurance with limits of not less than one million dollars (\$1,000,000) each accident/\$1,000,000 disease-each employee/\$1,000,000 disease-policy limit.

LESSEE will include the LESSOR as an additional insured on the Commercial General Liability and Automobile Liability policies, as its interest may appear under this Agreement.

- b. LESSEE shall provide certificates of insurance evidencing the coverage required by this Section to the LESSOR within thirty (30) days following receipt of a written request thereof from the LESSOR.
- c. All insurance provided pursuant to this section shall be effected under valid and enforceable policies, issued by insurers legally able to conduct business in the State of Illinois.
- d. LESSOR's insurance policies required herein shall contain the following endorsement:

“The insurer shall give the City of Moline at least thirty (30) days prior written notice of any intention to cancel, such notice to be given by certified mail, return receipt requested, addressed to: City Attorney, City of Moline, 619 16th Street, Moline, IL 61265.”
- e. LESSEE's insurance shall:
 - i. be primary and non-contributory with any insurance or program of self-insurance that may be maintained by LESSOR; and
 - ii. provide a waiver of subrogation, in favor of LESSOR, on the Workers Compensation Policy.
- f. LESSOR will maintain at its own cost commercial general liability insurance with limits not less than \$1,000,000 for injury to or death of one or more persons in any one occurrence and \$500,000 for damage or destruction to property in any one occurrence. LESSOR will include the LESSEE as an additional insured, as its interest may appear under this Agreement.

11. LIMITATION OF LIABILITY. Except for indemnification pursuant to Paragraphs 9 and 31, neither Party shall be liable to the other, or any of their respective agents, representatives, employees for any lost revenue, lost profits, loss of technology, rights or services, incidental, punitive, indirect, special or consequential damages, loss of data, or interruption or loss of use of service, even if advised of the possibility of such damages, whether under theory of contract, tort (including negligence), strict liability or otherwise. This limitation of liability shall not apply to any damage to LESSOR'S water supply or loss of revenue resulting from damage to LESSOR'S water supply that is directly caused by LESSEE's actions on the Property.

12. ANNUAL TERMINATION. Notwithstanding anything to the contrary contained herein, provided LESSEE is not in default hereunder beyond applicable notice and cure

periods, LESSEE shall have the right to terminate this Agreement upon the annual anniversary of the Commencement Date provided that six (6) months prior notice is given to LESSOR. After the expiration of the tenth (10th) year of the Term, in the event LESSOR has reasonably determined that the Tower is no longer useful for LESSOR's purposes, LESSOR shall have the right to terminate this Agreement upon the annual anniversary of the Commencement Date provided that six (6) months prior notice is given to LESSEE. LESSOR and LESSEE may terminate the Agreement at any time by mutual agreement if the Tower poses a threat of imminent danger to public health, safety, or welfare.

13. ACCESS TO TOWER. LESSOR agrees the LESSEE shall have access to the Tower at all times for the sole purpose of installing and maintaining and repairing the equipment listed on Exhibit "B". LESSOR shall furnish LESSEE with necessary means of access for the purpose of ingress and egress to this site and Tower location. It is agreed, however, that only authorized engineers, employees or properly authorized contractors of LESSEE or persons under their direct supervision will be permitted to enter said premises. LESSEE shall provide LESSOR with a list of those individuals and contractors that are authorized to be on the Tower. In the event of an emergency posing a threat to public health, safety and welfare, LESSOR shall have the right to restrict access to the Tower and Premises to LESSEE and to its agents, employees, engineers, or any individuals, in LESSOR'S sole discretion, for a maximum duration of 48 hours, and upon telephonic notice to LESSEE. Notwithstanding, LESSEE shall at all times have unrestricted access to the Land Space for the purpose of installing and maintaining its ground-based equipment. LESSEE agrees to install a StymieLock™ or similar device on the main access gate to the Premises.

14. TOWER COMPLIANCE. LESSOR covenants that it will keep the Tower in good repair as required by all Laws (as defined in Paragraph 35 below). The LESSOR shall also comply with all rules and regulations enforced by the Federal Communications Commission with regard to the lighting, marking and painting of towers.

No materials may be used in the installation of the antennas or transmission lines that will cause corrosion or rust or deterioration of the Tower structure, its paint system, its appurtenances or otherwise jeopardize the public health.

All antenna(s) on the Tower must be identified by a marking fastened securely to its bracket on the Tower and all transmission lines are to be tagged at the conduit opening where it enters any user's equipment space.

Not later than fifteen (15) days following the execution of this Agreement, LESSOR may, but is not required to, supply to LESSEE copies of all structural analysis reports that have been done with respect to the Tower, and throughout the Term LESSOR may supply to LESSEE copies of all structural analysis reports that are done with respect to the Tower.

When routine maintenance of the Tower is required, LESSOR shall provide thirty (30) days' notice in writing to LESSEE and LESSEE agrees to temporarily power down its equipment on the Tower for up to, but not longer than, forty-eight (48) hours, at LESSEE's sole

cost and expense. In such case, LESSEE shall have the option to install a temporary installation on the Property during the outage, in a location to be mutually agreed upon by the Parties, to ensure LESSEE's use at the Premises is not interrupted or diminished. LESSOR shall work diligently to complete said routine maintenance as quickly as possible and immediately notify LESSEE at (800) 224-6620 when said maintenance is complete. LESSEE agrees not to power up its equipment on the Tower until it receives such telephonic notice that maintenance is complete. LESSOR will not conduct said routine maintenance more than once during any three-year period.

In the event LESSOR must perform substantial maintenance on the Tower that requires the removal of LESSEE's equipment, LESSOR shall provide written notice to LESSEE no less than ninety (90) days prior to the required date of removal, and shall specify in such notice the date on which LESSEE's equipment must be removed from the Tower (the "Removal Date"). In such case, if possible and upon mutual agreement of the Parties, LESSEE shall be permitted to place a temporary installation on the Property in a location to be mutually agreed upon by the Parties, to ensure LESSEE's use at the Premises is not interrupted or diminished. LESSOR will not require relocation of LESSEE'S equipment for maintenance unless necessary for proper operation of the Tower or maintaining public health and will complete such maintenance in a manner to minimize the length of such relocation. LESSEE shall bear the full cost and expense for relocation of its equipment. In the event LESSEE's equipment is not removed from the Tower by the Removal Date, LESSEE shall pay to LESSOR a daily penalty in the amount of \$100 for every day that LESSEE's equipment remains on the Tower beyond the Removal Date. Further, such failure to comply beyond the Removal Date shall be a material breach of the Agreement and be subject to the terms of Paragraphs 29 and 30 below. In no event shall LESSOR be permitted to remove LESSEE's equipment from the Tower. Upon the completion of any maintenance, repair or similar work by LESSOR, LESSEE is permitted to return to its original location from the temporary location.

In the event of an emergency requiring removal or relocation of LESSEE's equipment from the Tower, LESSEE agrees to perform such removal or relocation as soon as possible after receipt of telephonic notice from LESSOR to (800) 224-6620, but no later than five (5) days after receipt of such notice.

15. INTERFERENCE. LESSEE agrees to install equipment of the type and frequency which will not cause harmful interference which is measurable in accordance with then existing industry standards to any equipment of LESSOR or other lessees of the Property which existed on the Property prior to the date this Agreement is executed by the Parties. In the event any after-installed LESSEE's equipment causes such interference, and after LESSOR has notified LESSEE in writing of such interference, LESSEE will take all commercially reasonable steps necessary to correct and eliminate the interference, including but not limited to, at LESSEE's option, powering down such equipment and later powering up such equipment for intermittent testing. LESSOR may not terminate this Agreement or relocate the equipment as long as LESSEE is making a good faith effort to remedy the interference issue. LESSOR agrees that LESSOR and/or any other tenants of the Property who currently have or in the future take possession of the Property will be permitted to install only such equipment that is of

the type and frequency which will not cause harmful interference which is measurable in accordance with then existing industry standards to the then existing equipment of LESSEE. For purposes of this Agreement, "interference" does not include LESSOR's use on the Property for public utility purposes or uses on neighboring properties that cause electronic or physical obstruction with, or degradation of, LESSEE's signals or frequency. Notwithstanding, LESSOR shall make reasonable efforts to use the Property so as not to cause interference with LESSEE's use under this Agreement. In the event any proposed use of the Property by LESSOR is expected to cause interference with LESSEE's permitted use under this Agreement, LESSOR shall provide LESSEE with at least thirty (30) days advanced written notice of such planned interference and use commercially reasonable efforts to provide LESSEE with an alternate location for its equipment, to minimize disturbance to LESSEE's operations. The Parties acknowledge that there will not be an adequate remedy at law for noncompliance with the provisions of this Paragraph and therefore, either Party shall have the right to equitable remedies, such as, without limitation, injunctive relief and specific performance.

16. REMOVAL. LESSEE shall, upon the expiration or earlier termination of the Agreement, remove its building(s), antenna(s), equipment, conduits, fixtures and all personal property and restore the Premises to its original condition, reasonable wear and tear and casualty damage excepted. LESSOR agrees and acknowledges that all of the equipment, conduits, fixtures and personal property of LESSEE shall remain the personal property of LESSEE and LESSEE shall have the right to remove the same at any time during the Term, whether or not said items are considered fixtures and attachments to real property under applicable Laws. If such time for removal causes LESSEE to remain on the Premises after termination of this Agreement, LESSEE shall pay rent in accordance with Paragraph 17 below, until such time as the removal of the building, antenna structure, fixtures and all personal property are completed.

On or before the Commencement Date, LESSEE shall provide to LESSOR a removal bond with an entity and in a form and content mutually agreeable to the Parties. The amount of the bond shall be Ten Thousand and 00/100 Dollars (\$10,000.00), and shall be renewed as necessary and kept in full force so long as the LESSEE's communications equipment is located on the Premises. The purpose of the bond is to ensure LESSEE's faithful performance of removal of its equipment and/or improvements on the Premises and the restoration of the Premises pursuant to this Paragraph 16.

17. HOLDOVER. LESSEE has no right to retain possession of the Premises or any part thereof beyond the termination of this Agreement. In the event that LESSEE holds over in violation of Paragraph 16 and this Paragraph 17, then the rent then in effect payable from and after the time of the expiration or earlier removal period set forth in Paragraph 16 shall be equal to two hundred percent (200%) of the rent applicable during the month immediately preceding such expiration or earlier termination. Holdover rental amounts will be prorated for each day possession is retained.

18. RIGHT OF FIRST REFUSAL. If LESSOR elects, during the Term to grant to a third party, by easement or other legal instrument, an interest in and to that portion of the Tower and or Premises occupied by LESSEE, or a larger portion thereof, for the purpose of operating and maintaining communications facilities or the management thereof, with or without an assignment of this Agreement to such third party, LESSEE shall have the right of first refusal to meet any bona fide offer of sale or transfer on the same terms and conditions of such offer. If LESSEE fails to meet such bona fide offer within thirty (30) days after written notice thereof from LESSOR, LESSOR may sell or grant the easement or interest in the Property or portion thereof to such third person in accordance with the terms and conditions of such third party offer. LESSEE's right of first refusal shall not apply to any offer LESSOR receives from another communications provider wishing to co-locate on the Tower.

19. RIGHTS UPON SALE. Should LESSOR, at any time during the Term decide (i) to sell or transfer all or any part of the Premises or the Tower thereon to a purchaser other than LESSEE, or (ii) to grant to a third party, by easement or other legal instrument, an interest in and to that portion of the Tower and or Premises occupied by LESSEE, or a larger portion thereof, for the purpose of operating and maintaining communications facilities or the management thereof, such sale or grant of an easement or interest therein shall be under and subject to this Agreement and any such purchaser or transferee shall recognize LESSEE's rights hereunder under the terms of this Agreement. In the event of the sale or transfer of the Property or LESSOR's grant of a third party easement for the purpose of operating a communications facility, the terms of this Paragraph 19 shall not be interpreted to expand LESSEE's rights existing under the Agreement at the time of said sale, transfer, or grant.

20. QUIET ENJOYMENT. LESSOR covenants that LESSEE, on paying the rent and performing the covenants herein, shall peaceably and quietly have, hold and enjoy the Premises.

21. TITLE. LESSOR represents and warrants to LESSEE as of the execution date of this Agreement, and covenants during the Term that LESSOR is seized of good and sufficient title and interest to the Property and has full authority to enter into and execute this Agreement. LESSOR further covenants upon execution of this Agreement that there are no liens, judgments or impediments of title on the Property, or affecting LESSOR's title to the same and that there are no covenants, easements or restrictions which prevent or adversely affect the use or occupancy of the Premises by LESSEE as set forth above.

22. INTEGRATION. It is agreed and understood that this Agreement contains all agreements, promises and understandings between LESSOR and LESSEE and that no verbal or oral agreements, promises or understandings shall be binding upon either LESSOR or LESSEE in any dispute, controversy or proceeding at law, and any addition, variation or modification to this Agreement shall be void and ineffective unless made in writing signed by the Parties or in a written acknowledgment in the case provided in Paragraph 3. In the event any provision of the Agreement is found to be invalid or unenforceable, such finding shall not affect the validity and enforceability of the remaining provisions of this Agreement. The failure of either Party to insist upon strict performance of any of the terms or conditions of this Agreement or to

exercise any of its rights under the Agreement shall not waive such rights and such Party shall have the right to enforce such rights at any time and take such action as may be lawful and authorized under this Agreement, in law or in equity.

23. GOVERNING LAW. This Agreement and the performance thereof shall be governed, interpreted, construed and regulated by the Laws of the State in which the Property is located.

24. ASSIGNMENT. This Agreement may be sold, assigned or transferred by the LESSEE, without any approval or consent of the LESSOR, to the LESSEE's principal, affiliates, subsidiaries of its principal or to any entity which acquires all or substantially all of LESSEE's assets in the market defined by the Federal Communications Commission in which the Property is located by reason of a merger, acquisition or other business reorganization. LESSOR must be provided written notice of such sale, assignment or transfer of all or substantially all of LESSEE's assets by merger, acquisition or other business reorganization within thirty (30) days of such and must be provided contact information for the new holder of the Agreement. As to other parties, this Agreement may not be sold, assigned or transferred unless the written consent of the LESSOR is obtained. Said consent of the LESSOR will not be unreasonably withheld, delayed or conditioned. No change of stock ownership, partnership interest or control of LESSEE or transfer upon partnership or corporate dissolution of LESSEE shall constitute an assignment hereunder.

25. NOTICES. All notices hereunder must be in writing and shall be deemed validly given if sent by certified mail, return receipt requested or by commercial courier, provided the courier's regular business is delivery service, addressed as follows (or any other address that the Party to be notified may have designated to the sender by like notice):

LESSOR: City of Moline
30 18th Street
Moline, IL 61265
Attn: Greg Swanson – Utilities General Manager

Copy to: City Attorney
City of Moline
619 16th Street
Moline, IL 61265

LESSEE: GTE Wireless of the Midwest Incorporated
d/b/a Verizon Wireless
180 Washington Valley Road
Bedminster, New Jersey 07921
Attention: Network Real Estate

Notice shall be effective upon actual receipt or refusal as shown on the receipt obtained pursuant to the foregoing.

26. SUCCESSORS. This Agreement shall extend to and bind the heirs, personal representative, successors and assigns of the Parties hereto.

27. SUBORDINATION AND NON-DISTURBANCE. LESSOR shall obtain not later than fifteen (15) days following the execution of this Agreement, a Non-Disturbance Agreement, as defined below, from its existing mortgagee(s), ground lessors and master lessors, if any, of the Property. At LESSOR's option, this Agreement shall be subordinate to any future master lease, ground lease, mortgage, deed of trust or other security interest (a "Mortgage") by LESSOR which from time to time may encumber all or part of the Property, Tower or right-of-way; provided, however, as a condition precedent to LESSEE being required to subordinate its interest in this Agreement to any future Mortgage covering the Tower or Property, LESSOR shall obtain for LESSEE's benefit a non-disturbance and attornment agreement for LESSEE's benefit in the form reasonably satisfactory to LESSEE, and containing the terms described below (the "Non-Disturbance Agreement"), and shall recognize LESSEE's right to remain in occupancy of and have access to the Premises as long as LESSEE is not in default of this Agreement beyond applicable notice and cure periods. The Non-Disturbance Agreement shall include the encumbering party's ("Lender's") agreement that, if Lender or its successor-in-interest or any purchaser of Lender's or its successor's interest (a "Purchaser") acquires an ownership interest in the Tower or Property, Lender or such successor-in-interest or Purchaser will (1) honor all of the terms of the Agreement, (2) fulfill LESSOR's obligations under the Agreement, and (3) promptly cure all of the then-existing LESSOR defaults under the Agreement. Such Non-Disturbance Agreement must be binding on all of Lender's participants in the subject loan (if any) and on all successors and assigns of Lender and/or its participants and on all Purchasers. In return for such Non-Disturbance Agreement, LESSEE will execute an agreement for Lender's benefit in which LESSEE (1) confirms that the Agreement is subordinate to the Mortgage or other real property interest in favor of Lender, (2) agrees to attorn to Lender if Lender becomes the owner of the Tower or Property and (3) agrees to accept a cure by Lender of any of LESSOR's defaults, provided such cure is completed within the deadline applicable to LESSOR. In the event LESSOR defaults in the payment and/or other performance of any mortgage or other real property interest encumbering the Property, LESSEE, may, at its sole option and without obligation, cure or correct LESSOR's default and upon doing so, LESSEE shall be subrogated to any and all rights, titles, liens and equities of the holders of such mortgage or other real property interest and LESSEE shall be entitled to deduct and setoff against all rents that may otherwise become due under this Agreement the sums paid by LESSEE to cure or correct such defaults.

28. RECORDING. LESSOR agrees to execute a Memorandum of this Agreement which LESSEE may record with the appropriate recording officer. The date set forth in the Memorandum of Lease is for recording purposes only and bears no reference to commencement of either the Term or rent payments. If LESSEE records such Memorandum of Lease, then upon termination of this Agreement, LESSEE shall record a release with the Rock Island County Recorder to document that the underlying Lease has been terminated

29. DEFAULT.

a. In the event there is a breach by LESSEE with respect to any of the provisions of this Agreement or its obligations under it, including the payment of rent, LESSOR shall give LESSEE written notice of such breach. After receipt of such written notice, LESSEE shall have fifteen (15) days in which to cure any monetary breach and thirty (30) days in which to cure any non-monetary breach, provided LESSEE shall have such extended period as may be required beyond the thirty (30) days and authorized in writing by LESSOR if the nature of the cure is such that it reasonably requires more than thirty (30) days and LESSEE commences the cure within the thirty (30) day period and thereafter continuously and diligently pursues the cure to completion, as determined by the LESSOR. LESSOR may not maintain any action or effect any remedies for default against LESSEE unless and until LESSEE has failed to cure the breach within the time periods provided in this Paragraph.

b. In the event there is a breach by LESSOR with respect to any of the provisions of this Agreement or its obligations under it, LESSEE shall give LESSOR written notice of such breach. After receipt of such written notice, LESSOR shall have thirty (30) days in which to cure any such breach, provided LESSOR shall have such extended period as may be required beyond the thirty (30) days and authorized in writing by LESSEE, if the nature of the cure is such that it reasonably requires more than thirty (30) days and LESSOR commences the cure within the thirty (30) day period and thereafter continuously and diligently pursues the cure to completion, as determined by the LESSEE. LESSEE may not maintain any action or effect any remedies for default against LESSOR unless and until LESSOR has failed to cure the breach within the time periods provided in this Paragraph.

30. REMEDIES. Upon a default, the non-defaulting Party may at its option (but without obligation to do so), perform the defaulting Party's duty or obligation on the defaulting Party's behalf, including but not limited to the obtaining of reasonably required insurance policies. The costs and expenses of any such performance by the non-defaulting Party shall be due and payable by the defaulting Party upon invoice therefor. In the event of a default by either Party with respect to a material provision of this Agreement, without limiting the non-defaulting Party in the exercise of any right or remedy which the non-defaulting Party may have by reason of such default, the non-defaulting Party may terminate the Agreement and/or pursue any remedy now or hereafter available to the non-defaulting Party under the Laws or judicial decisions of the state in which the Premises are located, by providing written notice to the addresses set forth in the "NOTICES" provision above; provided, however, LESSOR shall use reasonable efforts to mitigate its damages in connection with a default by LESSEE. If either Party so performs any of the defaulting Party's obligations hereunder, the full amount of the reasonable and actual cost and expense incurred by the non-defaulting Party shall immediately be owing by the defaulting party, and defaulting Party shall pay to the non-defaulting Party upon demand the full undisputed amount thereof with interest thereon from the date of payment at the greater of (i) ten percent (10%) per annum, or (ii) the highest rate permitted by applicable Laws. Notwithstanding the foregoing, if LESSOR does not pay LESSEE the full undisputed amount within thirty (30) days of its receipt of an invoice setting forth the amount due from LESSOR, LESSEE may offset the full undisputed amount,

including all accrued interest, due against all fees due and owing to LESSOR until the full undisputed amount, including all accrued interest, is fully reimbursed to LESSEE.

31. ENVIRONMENTAL.

a. LESSOR will be responsible for all obligations of compliance with any and all environmental and industrial hygiene laws, including any regulations, guidelines, standards, or policies of any governmental authorities regulating or imposing standards of liability or standards of conduct with regard to any environmental or industrial hygiene conditions or concerns as may now or at any time hereafter be in effect, that are or were in any way related to activity now conducted in, on, or in any way related to the Tower or Property, unless such conditions or concerns are caused by the specific activities of LESSEE in the Premises, the Tower or on the Property.

b. LESSOR shall hold LESSEE harmless and indemnify LESSEE from and assume all duties, responsibility and liability at LESSOR's sole cost and expense, for all duties, responsibilities, and liability (for payment of penalties, sanctions, forfeitures, losses, costs, or damages) and for responding to any action, notice, claim, order, summons, citation, directive, litigation, investigation or proceeding which is in any way related to: a) failure to comply with any environmental or industrial hygiene law, including without limitation any regulations, guidelines, standards, or policies of any governmental authorities regulating or imposing standards of liability or standards of conduct with regard to any environmental or industrial hygiene concerns or conditions as may now or at any time hereafter be in effect, unless such non-compliance results from conditions caused by LESSEE; and b) any environmental or industrial hygiene conditions arising out of or in any way related to the condition of the Tower or Property or activities conducted thereon, unless such environmental conditions are caused by LESSEE.

32. CASUALTY. In the event of damage by fire or other casualty to the Tower or Premises that cannot reasonably be expected to be repaired within forty-five (45) days following same or, if the Property is damaged by fire or other casualty so that such damage may reasonably be expected to disrupt LESSEE's operations at the Premises for more than forty-five (45) days, then LESSEE may, at any time following such fire or other casualty, provided LESSOR has not completed the restoration required to permit LESSEE to resume its operation at the Premises, terminate this Agreement upon fifteen (15) days prior written notice to LESSOR, unless such damage by fire or other casualty is caused by LESSEE or its equipment or operations and use. Any such notice of termination shall cause this Agreement to expire with the same force and effect as though the date set forth in such notice were the date originally set as the expiration date of this Agreement and the Parties shall make an appropriate adjustment, as of such termination date, with respect to payments due to the other under this Agreement. Notwithstanding the foregoing, the rent shall abate during the period of repair following such fire or other casualty in proportion to the degree to which LESSEE's use of the Premises is impaired, unless such damage by fire or other casualty is caused by LESSEE or its equipment, operations, or use.

33. CONDEMNATION. In the event of any condemnation of all or any portion of the Property, this Agreement shall terminate as to the part so taken as of the date the condemning authority takes title or possession, whichever occurs first. If as a result of a partial condemnation of the Premises or Tower, LESSEE, in LESSEE's sole discretion, is unable to use the Premises for the purposes intended hereunder, or if such condemnation may reasonably be expected to disrupt LESSEE's operations at the Premises for more than forty-five (45) days, LESSEE may, at LESSEE's option, to be exercised in writing within fifteen (15) days after LESSOR shall have given LESSEE written notice of such taking (or in the absence of such notice, within fifteen (15) days after the condemning authority shall have taken possession) terminate this Agreement as of the date the condemning authority takes such possession. LESSEE may on its own behalf make a claim in any condemnation proceeding involving the Premises for losses related to the equipment, conduits, fixtures, its relocation costs and its damages and losses (but not for the loss of its leasehold interest). Any such notice of termination shall cause this Agreement to expire with the same force and effect as though the date set forth in such notice were the date originally set as the expiration date of this Agreement and the Parties shall make an appropriate adjustment as of such termination date with respect to payments due to the other under this Agreement. If LESSEE does not terminate this Agreement in accordance with the foregoing, this Agreement shall remain in full force and effect as to the portion of the Premises remaining, except that the rent shall be reduced in the same proportion as the rentable area of the Premises taken bears to the total rentable area of the Premises, with such reduction agreed to in writing by the Parties. In the event that this Agreement is not terminated by reason of such condemnation, LESSOR shall promptly repair any damage to the Premises caused by such condemning authority.

34. SUBMISSION OF AGREEMENT/PARTIAL INVALIDITY/AUTHORITY. The submission of this Agreement for examination does not constitute an offer to lease the Premises and this Agreement becomes effective only upon the full execution of this Agreement by the Parties. If any provision herein is invalid, it shall be considered deleted from this Agreement and shall not invalidate the remaining provisions of this Agreement. Each of the Parties hereto warrants to the other that the person or persons executing this Agreement on behalf of such Party has the full right, power and authority to enter into and execute this Agreement on such Party's behalf and that no consent from any other person or entity is necessary as a condition precedent to the legal effect of this Agreement.

35. APPLICABLE LAWS. During the Term, LESSOR shall maintain the Property and all structural elements of the Premises in compliance with all applicable laws, rules, regulations, ordinances, directives, covenants, easements, zoning and land use regulations, and restrictions of record, permits, building codes, and the requirements of any applicable fire insurance underwriter or rating bureau, now in effect or which may hereafter come into effect (including, without limitation, the Americans with Disabilities Act and laws regulating hazardous substances) (collectively "Laws"). LESSEE shall, in respect to the condition of the Premises and at LESSEE's sole cost and expense, comply with (a) all Laws relating solely to LESSEE's use of the Premises (other than general office use); and (b) all building codes requiring modifications to the Premises due to the improvements being made by LESSEE in the Premises.

36. SURVIVAL. The provisions of the Agreement relating to indemnification from one Party to the other Party shall survive any termination or expiration of this Agreement. Additionally, any provisions of this Agreement which require performance subsequent to the termination or expiration of this Agreement shall also survive such termination or expiration.

37. CAPTIONS. The captions contained in this Agreement are inserted for convenience only and are not intended to be part of the Agreement. They shall not affect or be utilized in the construction or interpretation of the Agreement.

[Signature page to follow]

IN WITNESS WHEREOF, the Parties hereto have set their hands and affixed their respective seals the day and year first above written.

LESSOR:

City of Moline

WITNESS

By: _____

Its: _____

Date: _____

LESSEE:

**GTE Wireless of the Midwest
Incorporated d/b/a Verizon Wireless**

WITNESS

By: _____

Jacque Vallier

Its: Executive Director - Network

Date: _____

EXHIBIT "A"
(Legal Description of Property and Premises)

PROPERTY:

BEGINNING AT A POINT WHERE THE WEST LINE OF SEVENTH (7TH) STREET INTERSECTS THE NORTH LINE OF FIFTEENTH (15TH) AVENUE IN THE CITY OF MOLINE, THERE RUN NORTH ALONG THE SAID WEST LINE OF SEVENTH (7TH) STREET, ONE HUNDRED AND FORTY FOUR (144) FEET FOR A STARTING POINT, THENCE RUN WEST AT RIGHT ANGLES TO THE WEST LINE OF SEVENTH (7TH) STREET, ONE HUNDRED AND TWENTY FIVE (125) FEET, THENCE RUN NORTH AT RIGHT ANGLES TO THE NORTH LINE OF FIFTEENTH (15TH) AVENUE, NINETY EIGHT (98) FEET, THENCE RUN EAST PARALLEL TO THE NORTH LINE OF FIFTEENTH (15TH) AVENUE, ONE HUNDRED AND TWENTY FIVE (125) FEET, THENCE RUN SOUTH ON THE WEST LINE OF SEVENTH (17TH) STREET, NINETY EIGHT (98) FEET TO SAID STARTING POINT, IN COUNTY OF ROCK ISLAND, STATE OF ILLINOIS.

LAND SPACE:

A PARCEL OF LAND FOR LESSEE LEASE AREA PURPOSES, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 1 WEST OF THE 4TH P.M., ROCK ISLAND COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF 7TH STREET WITH THE NORTH RIGHT-OF-WAY LINE OF 15TH AVENUE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID WEST RIGHT-OF-WAY LINE, 232.90 FEET; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST, 66.64 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 01 DEGREES 16 MINUTES 14 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 20.00 FEET; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 36.00 FEET; THENCE NORTH 01 DEGREES 16 MINUTES 14 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 20.00 FEET; THENCE SOUTH 88 DEGREES 43 MINUTES 46 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 36.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 720.0 SQUARE FEET.

ACCESS RIGHT OF WAY:

A PARCEL OF LAND FOR ACCESS EASEMENT PURPOSES, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 1 WEST OF THE 4TH P.M., ROCK ISLAND COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF 7TH STREET WITH THE NORTH RIGHT-OF-WAY LINE OF 15TH AVENUE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID WEST RIGHT-OF-WAY LINE, 232.90 FEET FOR A POINT OF BEGINNING; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST, 66.64 FEET; THENCE SOUTH 01 DEGREES 16 MINUTES 14 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 12.00 FEET; THENCE SOUTH 88 DEGREES 43 MINUTES 46 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 66.74 FEET TO SAID WEST RIGHT-OF-WAY LINE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE, 12.00 FEET TO THE POINT OF BEGINNING.

UTILITY RIGHT OF WAY:

A PARCEL OF LAND FOR UTILITY EASEMENT PURPOSES, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 1 WEST OF THE 4TH P.M., ROCK ISLAND COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF 7TH STREET WITH THE NORTH RIGHT-OF-WAY LINE OF 15TH AVENUE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID WEST RIGHT-OF-WAY LINE, 232.90 FEET FOR A POINT OF BEGINNING; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST, 102.64 FEET; THENCE NORTH 01 DEGREES 16 MINUTES 14 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 8.00 FEET; THENCE SOUTH 88 DEGREES 43 MINUTES 46 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 102.57 FEET TO SAID WEST RIGHT-OF-WAY LINE; THENCE SOUTH 00 DEGREES 45 MINUTES 51 SECONDS WEST ALONG SAID WEST RIGHT-OF-WAY LINE, 8.00 FEET TO THE POINT OF BEGINNING.

GAS RIGHT OF WAY:

A PARCEL OF LAND FOR GAS EASEMENT PURPOSES, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 1 WEST OF THE 4TH P.M., ROCK ISLAND COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF 7TH STREET WITH THE NORTH RIGHT-OF-WAY LINE OF 15TH AVENUE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID WEST RIGHT-OF-WAY LINE, 232.90 FEET; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST, 66.64 FEET; THENCE SOUTH 01 DEGREES 16 MINUTES 14 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 20.00 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 88 DEGREES 43 MINUTES 46 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 66.81 FEET TO SAID WEST RIGHT-OF-WAY LINE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE, 8.00 FEET; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST, 66.74 FEET; THENCE SOUTH 01 DEGREES 16 MINUTES 14 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 8.00 FEET TO THE POINT OF BEGINNING.

EXHIBIT "B"
(Lessee's Permitted Equipment on the Tower)

[See attached full set of construction drawings dated 01/25/16]

SHEET INDEX

NO.	SHEET DESCRIPTION
T-1	TITLE SHEET
SP-1	GENERAL NOTES
SP-2	GENERAL NOTES AND SPECIFICATIONS
LS-1	PLAT OF SURVEY
LS-2	PLAT OF SURVEY
LS-3	AERIAL, ZONING, FLOOD AND WETLAND MAP
A-0	OVERALL SITE PLAN
A-1	COMPOUND PLAN
A-1A	NEW EQUIPMENT LAYOUT
A-2	SITE ELEVATION
A-3	ECR FORM & CABLE DATA
A-3A	NEW SCHEMATIC DIAGRAM & ANTENNA CONFIGURATION DETAIL
A-3B	EXISTING WATER TOWER HANDRAIL EQUIPMENT LAYOUT
A-3C	EQUIPMENT DETAILS
A-4	NEW PLATFORM PROFILE PLATFORM DETAILS BY COMMSCOPE
A-4A	NEW RRU/RAYCAP MOUNT SPECIFICATION BY SITE PRO 1
A-5	ICE BRIDGE & GPS ANTENNA DETAILS
A-5A	DETAILS
A-5B	NEW FENCE DETAILS
A-6	EQUIPMENT CABINET SPECIFICATIONS
A-6A	EQUIPMENT CABINET SPECIFICATIONS
A-6B	PLATFORM ELEVATIONS
PS-1	PAINT SPECIFICATION
S-1	PLATFORM FOUNDATION PLAN
S-2	STEEL PLATFORM DETAILS
S-2A	PLATFORM LADDER & BRACING DETAILS
S-3	STEEL PLATFORM ROOF DETAILS
S-4	EXISTING WATER TOWER ELEVATION AND DETAILS
S-5	STRUCTURAL DETAILS
S-6	VERTICAL ROUTING OF COAX CABLE (BELL SECTION)
S-7	STRUCTURAL DETAILS
S-8	STRUCTURAL DETAILS
S-8A	ACCESS TUBE MOUNTING DETAILS
S-9	STRUCTURAL DETAILS
S-9A	STRUCTURAL DETAILS
WT-1	ANTENNA POD MOUNTING DETAILS
WT-1A	ANTENNA POD MOUNTING DETAILS
WT-1B	STACKABLE POD MOUNT EXTENSION DETAILS & SPECIFICATION
WT-1C	ANTENNA POD EXTENSION DETAILS & SPECIFICATION
E-1	UTILITY SITE PLAN
E-1A	ENLARGED UTILITY SITE PLAN
E-2	UTILITY DETAILS
E-3	GENERATOR DETAILS
G-1	SITE GROUNDING PLAN
G-2	GROUNDING DETAILS
G-3	GROUNDING DETAILS
G-4	GROUNDING DETAILS
N-1	NOTICE TO CONTRACTOR
PL-1	SITE PHOTO LOG
	GAS SERVICE APPLICATION

DRIVING DIRECTIONS

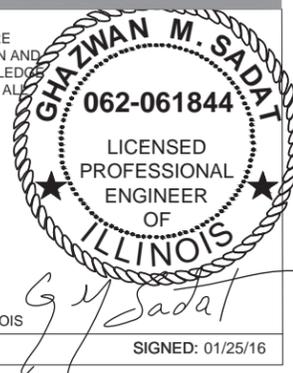
DRIVING DIRECTIONS FROM 1515 WOODFIELD, SUITE 1000, SCHAUMBURG, IL 60173:

1. HEAD WEST ON CENTRAL RD TOWARD S ARTHUR AVE (364 FT)
2. TURN RIGHT ONTO S ARTHUR AVE (0.2 MI)
3. TURN LEFT ONTO E CENTRAL RD (0.7 MI)
4. TURN LEFT ONTO S ARLINGTON HEIGHTS RD (1.6 MI)
5. MERGE ONTO I-90 W VIA THE RAMP TO ROCKFORD (2.0 MI)
6. TAKE THE I-290 E EXIT TOWARD W SUBURBS (1.0 MI)
7. KEEP LEFT AT THE FORK TO CONTINUE ON EXIT 1B-1A. FOLLOW SIGNS FOR ILLINOIS 72/HIGGINS RD/WOODFIELD RD/ILLINOIS 58/GOLF RD (0.5 MI)
8. KEEP LEFT AND MERGE ONTO I-290 E (5.5 MI)
9. KEEP LEFT AT THE FORK TO CONTINUE ON I-355 S. FOLLOW SIGNS FOR INTERSTATE 355/JOLIET (9.5 MI)
10. TAKE THE EXIT TOWARD CHICAGO/AURORA (0.2 MI)
11. KEEP RIGHT AT THE FORK. FOLLOW SIGNS FOR INTERSTATE 88/CHICAGO/AURORA (0.2 MI)
12. KEEP RIGHT AT THE FORK AND MERGE ONTO I-88 W (133 MI)
13. CONTINUE ONTO IL-59/IL-92 W (3.5 MI)
14. MERGE ONTO IL-64/IL-92 W/1ST AVE VIA THE RAMPTO SILVIS. CONTINUE TO FOLLOW IL-92 W (7.0 MI)
15. TURN LEFT ONTO 6TH ST (0.3 MI)
16. 6TH ST TURNS SLIGHTLY RIGHT AND BECOMES 7TH ST (0.2 MI)
17. TURN RIGHT ONTO 15TH AVE (0.2 MI)

DESTINATION WILL BE ON THE RIGHT
TOTAL TRAVEL ESTIMATES: 167 MILES, 2 HOURS 38 MINUTES

PROFESSIONAL LICENSURE

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY COMPLY WITH THE REQUIREMENT OF ALL APPLICABLE CODES AND ORDINANCES.

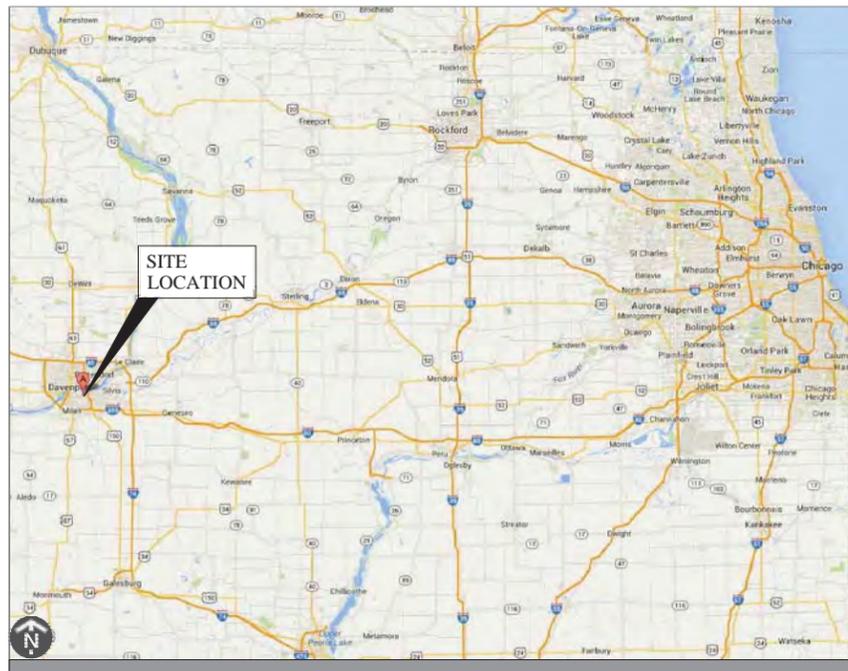


LICENSED PROFESSIONAL - STATE OF ILLINOIS

EXPIRES: 11/30/17

SIGNED: 01/25/16

REGIONAL MAP



Know what's below.
Call before you dig.

CALL J.U.L.I.E.
FOR UNDERGROUND UTILITIES PRIOR TO DIGGING
811 OR 1-800-892-0123

APPROVALS	
REAL ESTATE	_____
CONSTRUCTION	_____
RF	_____
SITE ACQ.	_____
FIELD OPS	_____
LANDLORD	_____

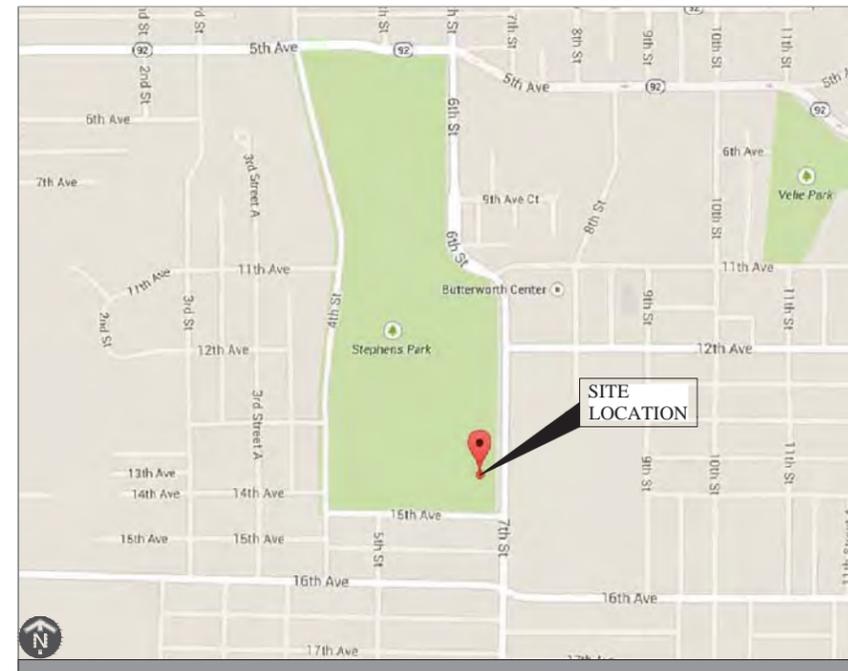
GTE WIRELESS MIDWEST, INC.

d/b/a VERIZON WIRELESS

SCOPE OF WORK

- (1) NEW LESSEE 10'-10"X11'-4" EQUIPMENT PLATFORM W/ (3) CABINETS, (1) NEW & (1) FUTURE RAYCAP JUNCTION BOXES ON GROUND, (1) NEW 48 kW GENERATOR, (9) NEW ANTENNAS, (3) NEW AWS RRH UNITS W/ (3) A2 BOXES, (6) NEW TMA'S, (6) NEW DIPLEXERS, (1) NEW TOWER MOUNTED RAYCAP, (12) NEW COAX CABLES AND (1) NEW HYBRID CABLE MOUNTED ON AN EXISTING WATER TANK, W/ NEW WATER TANK EXTENSION POD (NEW LESSEE ANTENNA CENTERLINE= 146'-0" AGL) (TOP OF EXTENDED WATER TANK = 146'-8" AGL)

VICINITY MAP



PROJECT NUMBER

20141020724

LOCATION NUMBER

288442

SITE NAME
STEPHENS PARK

SITE ADDRESS
531 15TH AVE
MOLINE, IL 61265

PROJECT INFORMATION

APPLICANTS: GTE WIRELESS MIDWEST INC.
d/b/a VERIZON WIRELESS
1515 WOODFIELD ROAD
SUITE 1000
SCHAUMBURG, IL 60173

SITE ACQUISITION: INSITE INC.
2210 MIDWEST ROAD
OAK BROOK, IL 60523
MATT GRANT
PHONE: (773) 818-0718

EXISTING WATER TOWER TENANTS CONTACTS: RACOM CORPORATION
1515 46TH AVENUE #1
MOLINE, IL 61265
O:(309) 797-7709, C:(309) 525-2860

LATITUDE: N 41° 29' 55.01"
LONGITUDE: W 90° 31' 41.33"
GROUND ELEV.: 690.66 FT. (AMSL)
SITE TYPE: WATER TOWER
JURISDICTION: CITY OF MOLINE
COUNTY: ROCK ISLAND
UTILITIES: MIDAMERICAN ENERGY
POWER: CONTACT: CHAD VERYZER
(309) 793-3759
FIBER: WIN
CONTACT: DAN MATSON
(608) 347-2148
NATURAL GAS: MIDAMERICAN ENERGY
CONTACT: DEWEY SCHULDT
(309) 793-3639

PROJECT CONTACTS & CODES

PROJECT MANAGER CONTACT: INSITE, INC.
BRYAN LAZUKA
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LANDLORD: CITY OF MOLINE
30 18TH ST.
MOLINE, IL 61265
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CODES:
1. 2012 IBC, IRC, IPC, IFC, IFGC WITH LOCAL AMENDMENTS TO THE MOLINE CODE OF ORDINANCES
2. 2012 ICCBC, ADMINISTRATIVE PROVISIONS
3. 2011 NEC WITH LOCAL AMENDMENTS TO THE MOLINE CODE OF ORDINANCES
4. INTERNATIONAL ENERGY CONSERVATION CODE (CURRENT EDITION ADOPTED BY THE STATE OF IL)
5. 2004 IPC WITH LOCAL AMENDMENTS TO THE MOLINE CODE OF ORDINANCES
6. 1997 ILLINOIS ACCESSIBILITY CODE
7. MOLINE CODE OF ORDINANCES
8. AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE 2012
9. AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION 2010
10. TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-G, STRUCTURAL STANDARDS FOR STEEL TOWER AND ANTENNA SUPPORTING STRUCTURES
11. TIA 607, COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS

**GTE WIRELESS
MIDWEST, INC.**
d/b/a VERIZON WIRELESS

CONCORDIA, LTD
A PROFESSIONAL DESIGN FIRM
LICENSE # 3323-011- D.B.A.
CONCORDIA WIRELESS, INC.
361 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
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DRAWN BY: NC CHECKED BY: PS
CHECKED BY: RH APPROVED BY: GMS

ISSUED FOR: PLATFORM FOUNDATION REVISION

No.	Revision/Issue	Date	Initial
A	LEASE EXHIBIT	11/03/14	KC
B	90% REVIEW	02/03/15	VG
C	REDESIGN (LP TANK)	03/19/15	VG/JR
D	REVISION	05/08/15	JR
E	CITY COMMENTS	07/13/15	KC
F	FINAL	09/02/15	JR
G	ECR REVISION	10/23/15	JR
H	CITY COMMENTS #2	10/27/15	JR
I	EASEMENT REVISION	12/01/15	PS
J	SURVEY REVISION	12/09/15	PS
K	EQUIPMENT RE-DESIGN	12/28/15	HE
L	FENCE ADDITION	01/15/16	PS
M	PLATFORM FOUNDATION REVISION	01/25/16	HE

LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T-1

	NEW ANTENNA		GROUT OR PLASTER
	EXISTING ANTENNA		(E) BRICK
	GROUND ROD		(E) MASONRY
	GROUND BUS BAR		CONCRETE
	MECHANICAL GRND. CONN.		EARTH
	CAD WELD		GRAVEL
	GROUND ACCESS WELL		PLYWOOD
	ELECTRIC BOX		SAND
	TELEPHONE BOX		WOOD CONT.
	LIGHT POLE		WOOD BLOCKING
	FND. MONUMENT		STEEL
	SPOT ELEVATION		CENTERLINE
	SET POINT		PROPERTY/LEASE LINE
	REVISION		MATCH LINE
	GRID REFERENCE		WORK POINT
	DETAIL REFERENCE		GROUND CONDUCTOR
	ELEVATION REFERENCE		--- UT --- BELOW GRADE TELEPHONE CONDUIT
			--- UE --- BELOW GRADE ELECTRICAL CONDUIT
			--- A --- COAXIAL CABLE
			--- OE/OT --- OVERHEAD ELECTRIC/TELEPHONE CONDUCTORS
			--- X --- CHAIN LINK FENCING

ABV.	ABOVE
ADDL	ADDITIONAL
A.F.F.	ABOVE FINISHED FLOOR
A.F.G.	ABOVE FINISHED GRADE
ALUM.	ALUMINUM
ALT.	ALTERNATE
ANT.	ANTENNA
APPRX.	APPROXIMATE(LY)
ARCH.	ARCHITECT(URAL)
AWG.	AMERICAN WIRE GAUGE
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
BM.	BEAM
BT.W.	BARE TINNED COPPER WIRE
B.O.F.	BOTTOM OF FOOTING
BU.	BACK-UP CABINET
CAB.	CABINET
CANT.	CANTILEVER(ED)
C.I.P.	CAST IN PLACE
CLG.	CEILING
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION(OR)
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
DBL.	DOUBLE
DEPT.	DEPARTMENT
DIA.	DIAMETER
DIAG.	DIAGONAL
DIM.	DIMENSION
DWG.	DRAWING(S)
DWL.	DOWEL(S)
EA.	EACH
EL.	ELEVATION
ELEC.	ELECTRICAL
ELEV.	ELEVATOR
EMT.	ELECTRICAL METALLIC TUBING
ENG.	ENGINEER
EQ.	EQUAL
EXP.	EXPANSION
EXIST.(E)	EXISTING
EXT.	EXTERIOR
FAB.	FABRICATION(OR)
F.F.	FINISH FLOOR
F.G.	FINISH GRADE
FIN.	FINISH(ED)
FLR.	FLOOR
FDN.	FOUNDATION
F.O.C.	FACE OF CONCRETE
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
F.O.W.	FACE OF WALL
F.S.	FINISH SURFACE
FT.(I)	FOOT(FEET)
FTG.	FOOTING
G.	GROWTH (CABINET)
GA.	GAUGE
GI.	GALVANIZE(D)
G.F.I.	GROUND FAULT CIRCUIT INTERRUPTER
GND.	GLOBAL POSITIONING SYSTEM
HGR.	GROUND
HT.	HANGER
	HEIGHT

ICGB.	ISOLATED COPPER GROUND BUS
IN.(I)	INCH(ES)
INT.	INTERIOR
LB.(#)	POUND(S)
L.F.	LINEAR FEET (FOOT)
L.	LONG(TUDINAL)
MAS.	MASONRY
MAX.	MAXIMUM
MDCMC	METRICOM DESIGNATED CONSTRUCTION MANAGEMENT & CONTRACTING
	MECHANICAL
MECH.	MECHANICAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTL.	METAL
(N)	NEW
NO.(#)	NUMBER
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OPNG.	OPENING
PCS	PERSONAL COMMUNICATION SERVICES
PLY.	PLYWOOD
PRC	PRIMARY RADIO CABINET
P.S.F.	POUNDS PER SQUARE FOOT
P.S.I.	POUNDS PER SQUARE INCH
P.T.	PRESSURE TREATED
PWR.	POWER (CABINET)
QTY.	QUANTITY
RAD.(R)	RADIUS
REF.	REFERENCE
REINF.	REINFORCEMENT(ING)
REQD.	REQUIRED
RGS.	RIGID GALVANIZED STEEL
SCH.	SCHEDULE
SHT.	SHEET
SIM.	SIMILAR
SPEC.	SPECIFICATION(S)
SG.	SQUARE
S.S.	STAINLESS STEEL
STD.	STANDARD
STL.	STEEL
STRUC.	STRUCTURAL
TEMP.	TEMPORARY
THK.	THICK(NESS)
T.O.A.	TOP OF ANTENNA
T.O.C.	TOP OF CURB
T.O.F.	TOP OF FOUNDATION
T.O.P.	TOP OF PLATE (PARAPET)
T.O.S.	TOP OF STEEL
T.O.W.	TOP OF WALL
TYP.	TYPICAL
U.G.	UNDER GROUND
U.L.	UNDERWRITERS LABORATORY
U.N.O.	UNLESS NOTED OTHERWISE
V.I.F.	VERIFY IN FIELD
W	WIDE(WIDTH)
W/	WITH
WAP.	WIRED ACCESSED POINT
WCS	WIRELESS COMMUNICATION SERVICE
WT.	WEIGHT
⌀	CENTERLINE
Ⓢ	PLATE

1 PROJECT SYMBOLS
SCALE: NTS

2 PROJECT ABBREVIATIONS
SCALE: NTS

1. REPRESENTATIVES OF THE OWNER MUST BE NOTIFIED AT LEAST TWO FULL DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
3. DO NOT SCALE BUILDING DIMENSIONS FROM DRAWINGS.
4. ANY DRAIN AND/OR FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE RETURNED TO ITS ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON AS-CONSTRUCTED DRAWINGS AND ISSUED TO ARCHITECT/ENGINEER AT COMPLETION OF PROJECT.
5. ALL EXISTING UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON PLANS HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ARCHITECT/ENGINEER AND OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING EXISTING UTILITIES.
6. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION AND INSTRUCTION. AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE. CONTRACTOR SHALL CALL OUPS AT (800) - 362-2764 FOR UTILITY LOCATIONS 48 HOURS PRIOR TO START OF CONSTRUCTION.

7. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
8. THE BUILDING DEPARTMENT ISSUING THE BUILDING PERMIT SHALL BE NOTIFIED AT LEAST TWO WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORK OR AS STIPULATED BY THE CODE ENFORCEMENT OFFICIAL HAVING JURISDICTION.
9. GRADING OF THE SITE WORK AREA IS TO BE SMOOTH AND CONTINUOUS IN SLOPE AND IS TO FEATHER INTO EXISTING GRADES AT THE GRADING LIMITS.
10. ALL EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
11. STRUCTURAL FILLS SUPPORTING PAVEMENTS SHALL BE COMPACTED TO 100% OF MAXIMUM STANDARD PROCTOR DRY DENSITY.
12. NEW GRADES NOT IN BUILDING AND DRIVEWAY IMPROVEMENT AREA TO BE ACHIEVED BY FILLING WITH APPROVED CLEAN FILL AND COMPACTED TO 95% OF STANDARD PROCTOR DENSITY.

13. ALL FILL SHALL BE PLACED IN UNIFORM LIFTS. THE LIFTS THICKNESS SHOULD NOT EXCEED THAT WHICH CAN BE PROPERLY COMPACTED THROUGHOUT ITS ENTIRE DEPTH WITH THE EQUIPMENT AVAILABLE.
14. ANY FILLS PLACED ON EXISTING SLOPES THAT ARE STEEPER THAN 10 HORIZONTAL TO 1 VERTICAL SHALL BE PROPERLY BENCHED INTO THE EXISTING SLOPE AS DIRECTED BY A GEOTECHNICAL ENGINEER.
15. THE GRADES WITHIN THE FENCED-IN AREA ARE TO BE ACHIEVED BY COMPACTING CLEAN FILL TO A DENSITY OF 90% OF STANDARD PROCTOR COVERING THE AREA WITH 6 MIL. VISQUENE (1" OVERLAP AT SEAMS) FOR WEED SUPPRESSION, THEN ACHIEVING FINISH GRADE BY ADDING 6" OF 3/4" CRUSHED STONE-NO FINES.
16. CONTRACTOR SHALL CLEAN ENTIRE SITE AFTER CONSTRUCTION SO THAT NO PAPERS, TRASH, WEEDS, BRUSH OR ANY OTHER DEPOSITS WILL REMAIN. ALL MATERIALS COLLECTED DURING CLEANING OPERATIONS SHALL BE DISPOSED OF OFF-SITE.
17. ALL TREES AND SHRUBS WHICH ARE NOT IN DIRECT CONFLICT WITH THE IMPROVEMENTS SHALL BE PROTECTED.
18. GC TO HIRE JULIE PUBLIC & PRIVATE LOCATE SERVICE IN ORDER TO LOCATE AND PROTECT ANY AND ALL SURFACE UTILITIES. DO NOT SCALE OFF THESE PLANS FOR ANY BELOW GRADE UTILITIES.
19. THESE PLANS MAY NOT CONTAIN OR REVEAL ALL SUBSURFACE UTILITIES; GC IS RESPONSIBLE OF LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION

3 GENERAL NOTES
SCALE: NTS

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LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
GENERAL NOTES

SHEET NUMBER:
SP-1

GENERAL NOTES:

- 1. CONTRACTOR TO FURNISH AND INSTALL THE FOLLOWING:

THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL OTHER MATERIALS FOR THE COMPLETE INSTALLATION OF THE SITE INCLUDING, BUT NOT LIMITED TO, SUCH MATERIALS AS FENCING, STRUCTURAL STEEL SUPPORTING SUB-FRAME FOR PLATFORM, ROOFING LABOR AND MATERIALS, GROUNDING RINGS, GROUNDING WIRES, COPPER-CLAD OR XIT CHEMICAL GROUND ROD(S), BUSS BARS, TRANSFORMERS AND DISCONNECT SWITCHES WHERE APPLICABLE, TEMPORARY ELECTRICAL POWER, CONDUIT, LANDSCAPING COMPOUND STONE, CRANES, CORE DRILLING, SLEEPERS AND RUBBER MATTING, REBAR, CONCRETE CAISSONS, PADS AND/OR AUGER MOUNTS, MISCELLANEOUS FASTENERS, CABLE TRAYS, NON-STANDARD ANTENNA FRAMES AND ALL OTHER MATERIAL AND LABOR REQUIRED TO COMPLETE THE JOB ACCORDING TO THE DRAWINGS AND SPECIFICATIONS.

IT IS THE POSITION OF VERIZON WIRELESS TO APPLY FOR PERMITTING AND CONTRACTOR RESPONSIBLE FOR PICKUP AND PAYMENT OF REQUIRED PERMITS.

- 2. VERIZON WIRELESS FURNISHED EQUIPMENT SHALL BE PICKED-UP AT THE VERIZON WIRELESS WAREHOUSE, NO LATER THAN 48HR AFTER BEING NOTIFIED INSURED, STORED, UNCRATED, PROTECTED AND INSTALLED BY THE

CONTRACTOR WITH ALL APPURTENCES REQUIRED TO PLACE THE EQUIPMENT IN OPERATION, READY FOR USE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EQUIPMENT AFTER PICKING UP.

- 3. ALL EQUIPMENT FURNISHED AND WORK PERFORMED UNDER THE CONTRACT DOCUMENTS SHALL BE GUARANTEED AGAINST DEFECTS IN MATERIALS OR WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE, UNLESS NOTED OTHERWISE. ANY FAILURE OF EQUIPMENT OR WORK DUE TO DEFECTS IN MATERIALS OR WORKMANSHIP SHALL BE CORRECTED BY THE CONTRACTOR AT NO COST TO THE OWNER.

- 4. ALL WORK, MATERIAL, AND EQUIPMENT SHALL COMPLY WITH ALL REQUIREMENTS OF THE LATEST EDITIONS AND INTERIM AMENDMENTS OF THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL ELECTRICAL SAFETY CODE, OSHA, AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES. ALL ELECTRICAL EQUIPMENT PROVIDED UNDER THIS CONTRACT SHALL BE NEW (EXCEPT WHERE OTHERWISE NOTED) AND SHALL COMPLY WITH THE REQUIREMENTS OF THE UNDERWRITERS' LABORATORIES (U.L.) AND BEAR THE U.L. LABEL.

- 5. VERIZON WIRELESS OR HIS ARCHITECT/ENGINEER RESERVES THE RIGHT TO REJECT ANY EQUIPMENT OR MATERIALS WHICH, IN HIS OPINION ARE NOT IN COMPLIANCE WITH THE CONTRACT DOCUMENTS, EITHER BEFORE OR AFTER INSTALLATION AND THE EQUIPMENT SHALL BE REPLACED WITH EQUIPMENT CONFORMING TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE CONTRACTOR AT NO COST TO THE OWNER OR HIS ARCHITECT/ENGINEER.

- 6. THE CONTRACTOR SHALL SUPPORT, BRACE AND SECURE EXISTING STRUCTURE AS REQUIRED. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PROTECTION OF ANY EXISTING STRUCTURES DURING CONSTRUCTION. FIELD VERIFY ALL EXISTING DIMENSIONS WHICH AFFECT THE NEW CONSTRUCTION.

- 7. THE CONTRACTOR SHALL NOT ALLOW OR CAUSE ANY OF THE WORK TO BE COVERED UP OR ENCLOSED UNTIL IT HAS BEEN INSPECTED BY THE GOVERNING AUTHORITIES. ANY WORK THAT IS ENCLOSED OR COVERED UP BEFORE SUCH INSPECTION AND TEST SHALL BE UNCOVERED AT THE CONTRACTOR'S EXPENSE. AFTER IT HAS BEEN INSPECTED, THE CONTRACTOR SHALL RESTORE THE WORK TO ITS ORIGINAL CONDITION AT HIS OWN EXPENSE.

- 8. ALL EXISTING UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON PLANS HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ARCHITECT/ENGINEER AND OWNER (VERIZON WIRELESS) ASSUME NO RESPONSIBILITY WHATEVER AS TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL SAID UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING AFFECTED UTILITIES.

GENERAL NOTES (CONT'D):

- 9. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE PROJECT MANAGER FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS OWN RISK AND EXPENSE.

- 10. CONTRACTORS SHALL CLEAN ENTIRE SITE AFTER CONSTRUCTION SUCH THAT NO PAPERS, TRASH, DEBRIS, WEEDS, BRUSH, OR ANY OTHER DEPOSITS REMAIN. ALL MATERIALS COLLECTED DURING CLEANING OPERATIONS SHALL BE PROPERLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.

- 11. ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY THE CONTRACTOR WITH LOCAL GAS, ELECTRIC, TELEPHONE, AND ANY OTHER UTILITY COMPANIES HAVING JURISDICTION OVER THIS LOCATION.

- 12. DURING CONSTRUCTION, THE CONTRACTOR SHALL AT ALL TIMES MAINTAIN THE UTILITIES OF THE BUILDING/SITE WITHOUT INTERRUPTION. SHOULD IT BE NECESSARY TO INTERRUPT ANY SERVICE OR UTILITY, THE CONTRACTOR SHALL SECURE PERMISSION IN WRITING FROM THE BUILDING/PROPERTY OWNER FOR SUCH INTERRUPTION, AT LEAST 72 HOURS IN ADVANCE. ANY INTERRUPTION SHALL BE MADE WITH A MINIMUM AMOUNT OF INCONVENIENCE TO THE BUILDING/PROPERTY OWNER AND ANY SUCH SHUTDOWN TIME SHALL BE COORDINATED WITH THE BUILDING/PROPERTY OWNER.

- 13. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION.

- 14. CONTRACTOR SHALL SUBMIT AT THE END OF THE PROJECT A COMPLETE SET OF AS BUILT DRAWINGS TO VERIZON WIRELESS' PROJECT ENGINEER.

- 15. GC WILL NOT START THE CONSTRUCTION UNTIL AFTER THEY RECEIVE THE PRE CON PACKAGE AND HAVE A PRE CON WALK WITH THE PROJECT MANAGER.

DIVISION 2 - SITE WORK:

- 1. THE CONTRACTOR SHALL CALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE PROJECT MANAGER. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT LIMITED TO:

- A. FALL PROTECTION
B. CONFINED SPACE
C. ELECTRICAL SAFETY
D. TRENCHING AND EXCAVATION

- 2. REMOVE FROM SITE/OWNER'S PROPERTY ALL WASTE MATERIALS, UNUSED EXCAVATED MATERIAL INCLUDING MATERIAL CLASSIFIED UNSATISFACTORY, CONTAMINATED OR DANGEROUS TRASH AND DEBRIS, AND DISPOSE OF IN A LEGAL MANNER.

- 3. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF ENGINEERING.

- 4. THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE BUILDING OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, FERTILIZED, SEEDED, AND COVERED WITH MULCH

- 5. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, AS REQUIRED DURING CONSTRUCTION.

- 6. CONTRACTOR IS RESPONSIBLE FOR LAYOUT AND CONSTRUCTION STAKING. CONTRACTOR SHALL ESTABLISH GRADE AND LINE STAKES PRIOR TO CONSTRUCTION.

- 7. CONCORDIA DOES NOT GUARANTEE OR WARRANT THAT THE AFOREMENTIONED EASEMENTS ARE SUFFICIENT FOR CONSTRUCTION TRAFFIC. GC SHALL CONSULT WITH A VERIZON REPRESENTATIVE AND LANDLORD WITH EXACT LOGISTICS TO FACILITATE CONSTRUCTABILITY OF THE SITE AND DELIVERY OF CRITICAL MATERIALS SUCH AS THE TOWER, STEEL, CONCRETE AND CRANES TO THE PROPOSED LEASE AREA. GC SHALL RESTORE SITE TO ORIGINAL CONDITIONS AND REPLACE ANY AND ALL DISTURBED TREES OR LANDSCAPING.

- 8. CONCORDIA IS NOT RESPONSIBLE FOR THE MAINTENANCE AND/OR OPERATIONAL FEASIBILITY.

- 9. SCOPE OF WORK FOR THESE PLANS DOES NOT INVOLVE VALUE ENGINEERING AS WELL AS MAINTAINABILITY OPERATIONS OF THE SITE, ACCESS OR UTILITIES.

DIVISION 3 - CONCRETE:

- 1. MINIMUM ALLOWABLE CONCRETE COMPRESSIVE STRENGTH SHALL BE 4000 PSI AT 28 DAYS WHEN TESTED IN ACCORDANCE WITH THE AMERICAN SOCIETY FOR TESTING AND MATERIALS METHODS STANDARDS ASTM C172, ASTM C31 AND ASTM C39 UNLESS OTHERWISE NOTED.

- 2. CONCRETE FOR ALL FOUNDATIONS: 540 LBS PER CUBIC YARD OF CONCRETE MINIMUM CEMENT CONTENT FOR 1-INCH MAXIMUM SIZE AGGREGATE, SLUMP RANGE 3 INCHES TO 5 INCHES, TOTAL AIR CONTENT 4 PERCENT TO 7 PERCENT BY VOLUME. AIR ENTRAINING ADMIXTURE REQUIRED TO CONTROL TOTAL AIR CONTENT, WATER REDUCING ADMIXTURE PERMITTED TO OBTAIN SLUMP OVER 3-INCHES.

- 3. ALL CONCRETE CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE AMERICAN CONCRETE INSTITUTE (ACI 318) BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND (ACI 301) STANDARD SPECIFICATION FOR STRUCTURAL CONCRETE.

- 4. REBARS SHALL BE ASTM A-615 DEFORMED TYPE WITH MINIMUM YIELD STRENGTH OF 60,000 PSI (40,000 PSI GRADE MAY BE USED FOR TIES & STIRRUPS).

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.

- 5. DETAILING SHALL BE IN ACCORDANCE WITH MANUAL OF STANDARD PRACTICE OF DETAILING REINFORCED CONCRETE STRUCTURES (ACI STD-315 LATEST EDITION).

- 6. CHAMFER ALL EXPOSED EDGES OF CONCRETE 3/4" UNLESS OTHERWISE NOTED.

- 7. REINFORCING STEEL SHALL BE ACCURATELY PLACED AND ADEQUATELY SECURED IN POSITION. LOCATION OF REINFORCEMENT SHALL BE INDICATED ON THE DRAWINGS. THE FOLLOWING MINIMUM COVER (INCHES) FOR REINFORCEMENT SHALL BE PROVIDED, EXCEPT AS NOTED ON DRAWINGS.

MINIMUM COVER (INCHES)
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH ... 3"
EXPOSED TO EARTH OR WEATHER:
#6 THROUGH #18 ... 2"
#5 BAR AND SMALLER ... 1-1/2"

- 8. TESTS
CONCRETE MATERIALS AND OPERATIONS SHALL BE TESTED AND INSPECTED BY THE ENGINEER AS THE WORK PROGRESSES. FAILURE TO DETECT ANY DEFECTIVE WORK OR MATERIAL SHALL NOT IN ANY WAY PREVENT LATER REJECTION WHEN SUCH DEFECT IS DISCOVERED NOR SHALL IT OBLIGATE THE ENGINEER FOR FINAL ACCEPTANCE.

- A. FIVE CONCRETE TEST CYLINDERS SHALL BE TAKEN OF THE TOWER PIER FOUNDATION. TWO SHALL BE TESTED @ THREE DAYS, TWO @ TWENTY-EIGHT DAYS. THE FIFTH CYLINDER SHALL BE KEPT SEPARATELY, IF REQUIRED TO BE USED IN THE FUTURE.

- B. ONE ADDITIONAL TEST CYLINDER SHALL BE TAKEN DURING COLD WEATHER AND CURED ON SITE UNDER SAME CONDITIONS AS CONCRETE IT REPRESENTS.

- C. ONE SLUMP TEST SHALL BE TAKEN FOR EACH SET OF TEST CYLINDERS TAKEN.

- 9. PLACING CONCRETE

- A. THE ENGINEER SHALL BE NOTIFIED NOT LESS THAN 24 HOURS IN ADVANCE OF CONCRETE PLACEMENT, UNLESS INSPECTION IS WAIVED IN EACH CASE, PLACING OF CONCRETE SHALL BE PERFORMED ONLY IN THE PRESENCE OF THE ENGINEER. CONCRETE SHALL NOT BE PLACED UNTIL ALL FORMWORK, EMBEDDED PARTS, STEEL REINFORCEMENT, FOUNDATION SURFACES AND JOINTS INVOLVED IN THE PLACING HAVE BEEN APPROVED, AND UNTIL FACILITIES ACCEPTABLE TO THE VERIZON WIRELESS REPRESENTATIVE HAVE BEEN PROVIDED AND MADE READY FOR ACCOMPLISHMENT OF THE WORK AS SPECIFIED. CONCRETE MAY NOT BE ORDERED FOR PLACEMENT UNTIL ALL ITEMS HAVE BEEN APPROVED AND VERIZON WIRELESS HAS PERFORMED A FINAL INSPECTION AND GIVEN APPROVAL TO START PLACEMENT IN WRITING.

- B. PLACEMENT OF CONCRETE SHALL BE IN ACCORDANCE WITH ACI 301.

- 10. PROTECTION

- A. IMMEDIATELY AFTER PLACEMENT, THE CONTRACTOR SHALL PROTECT THE CONCRETE FROM PREMATURE DRYING, EXCESSIVELY HOT OR COLD TEMPERATURES, AND MECHANICAL INJURY. FINISHED WORK SHALL BE PROTECTED.

- B. CONCRETE SHALL BE MAINTAINED WITH MINIMAL MOISTURE LOSS AT RELATIVELY CONSTANT TEMPERATURE FOR A PERIOD NECESSARY FOR HYDRATION OF CEMENT AND HARDENING OF CONCRETE.

- C. ALL CONCRETE SHALL BE WATER CURED BY CONTINUOUS (NOT PERIODIC) FINE MIST SPRAYING OR SPRINKLING ALL EXPOSED SURFACES. WATER SHALL BE CLEAN AND FREE FROM ACID, ALKALI, SALTS, OIL SEDIMENT, AND ORGANIC MATTER. SUCCESSFUL CURING SHALL BE OBTAINED BY USE OF AN AMPLE WATER SUPPLY UNDER PRESSURE IN PIPES, WITH ALL NECESSARY APPLIANCES OF SPRINKLERS, AND SPRAYING DEVICES.

DIVISION 5 - STRUCTURAL STEEL:

- 1. DETAIL, FABRICATE AND ERECT STRUCTURAL STEEL IN ACCORDANCE WITH THE LATEST AISC MANUAL OF STEEL CONSTRUCTION (ASD), AWS D1.1, AND THE BASIC BUILDING CODE. STRUCTURAL STEEL SHALL BE AS FOLLOWS:

- A. ASTM A36, GRADE 36; ROLLED STEEL, RODS, PLATES, U-BOLTS AND ANCHOR BOLTS.
B. ASTM A325 BOLTS, BEARING TYPE
C. ALL STEEL SHALL BE HOT-DIP GALVANIZED IN ACCORDANCE WITH ASTM A123.

- 2. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND/OR BRACING WHERE REQUIRED DURING CONSTRUCTION UNTIL ALL CONNECTIONS ARE COMPLETE.

- 3. ANY FIELD CHANGES OR SUBSTITUTIONS SHALL HAVE PRIOR APPROVAL FROM THE ENGINEER, AND T-MOBILE PROJECT MANAGER IN WRITING

- 4. TIGHTEN HIGH STRENGTH BOLTS TO A SNUG TIGHT CONDITION WHERE ALL PLIES IN A JOINT ARE IN FIRM CONTACT BY EITHER

- A. A FEW IMPACTS OF A IMPACT WRENCH
B. THE FULL EFFORT OF A PERSON USING A SPUD WRENCH.

- 5. WELDING

- A. ALL WELDING SHALL BE DONE BY CERTIFIED WELDERS. CERTIFICATION DOCUMENTS SHALL BE MADE AVAILABLE FOR ENGINEER'S AND/OR OWNER'S REVIEW IF REQUESTED.

- B. WELDING ELECTRODES FOR MANUAL SHIELDED METAL ARC WELDING SHALL CONFORM TO ASTM A-233, E70 SERIES. BARE ELECTRODES AND GRANULAR FLUX USED IN THE SUBMERGED ARC PROCESS SHALL CONFORM TO AISC SPECIFICATIONS.

- C. FIELD WELDING SHALL BE DONE AS PER AWS D1.1 REQUIREMENTS VISUAL INSPECTION IS ACCEPTABLE.

- 6. PROTECTION

- A. UPON COMPLETION OF ERECTION INSPECT ALL GALVANIZED STEEL AND PAINT ANY FIELD CUTS, WELDS, OR GALVANIZED BREAKS WITH ZINC BASED PAINT. COLOR TO MATCH THE GALVANIZING PROCESS.

DIVISION 13 - SPECIAL CONSTRUCTION

ANTENNA INSTALLATION

WORK INCLUDED:

- 1. A. ANTENNAS AND COAXIAL CABLES ARE FURNISHED BY VERIZON WIRELESS UNDER A SEPARATE CONTRACT. THE CONTRACTOR SHALL ASSIST ANTENNA INSTALLATION CONTRACTOR IN TERMS OF COORDINATION AND SITE ACCESS. ERECTION SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF PERSONNEL AND PROPERTY.

- B. INSTALL ANTENNAS AS INDICATED ON DRAWINGS AND VERIZON WIRELESS SPECIFICATIONS.

- C. INSTALL GALVANIZED STEEL ANTENNA MOUNTS AS INDICATED ON DRAWINGS.

- D. INSTALL FURNISHED GALVANIZED STEEL OR ALUMINUM WAVEGUIDE AND PROVIDE PRINTOUT OF THAT TEST.

- E. CONTRACTOR SHALL PROVIDE FOUR (4) SETS OF SWEEP TESTS USING ANRITZU-PACKARD 8713B RF SCALAR NETWORK ANALYZER. SUBMIT FREQUENCY DOMAIN REFLECTOMETER(FDR) TESTS RESULTS TO THE PROJECT MANAGER. SWEEP TESTS SHALL BE AS PER ATTACHED RFS "MINIMUM FIELD TESTING RECOMMENDED FOR ANTENNA AND HELIAX COAXIAL CABLE SYSTEMS" DATED 10/5/93. TESTING SHALL BE PERFORMED BY AN INDEPENDENT TESTING SERVICE AND BE BOUND AND SUBMITTED WITHIN ONE WEEK OF WORK COMPLETION.

- F. INSTALL COAXIAL CABLES AND TERMINATING BETWEEN ANTENNAS AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS. WEATHERPROOF ALL CONNECTORS BETWEEN THE ANTENNA AND EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. TERMINATE ALL COAXIAL CABLE THREE (3) FEET IN EXCESS OF ENTRY PORT LOCATION UNLESS OTHERWISE STATED.

- G. ANTENNA AND COAXIAL CABLE GROUNDING:

- 1. ALL EXTERIOR #6 GREEN GROUND WIRE "DAISY CHAIN" CONNECTIONS ARE TO BE WEATHER SEALED WITH RFS CONNECTOR/SPLICE WEATHERPROOFING KIT #221213 OR EQUAL.
2. ALL COAXIAL CABLE GROUNDING KITS ARE TO BE INSTALLED ON STRAIGHT RUNS OF COAXIAL CABLE (NOT WITHIN BENDS).

GTE WIRELESS
MIDWEST, INC.
d/b/a VERIZON WIRELESS

CONCORDIA, LTD
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LICENSE # 3323-011- D.B.A.
CONCORDIA WIRELESS, INC.
361 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
MAIN: (847) 981-0801

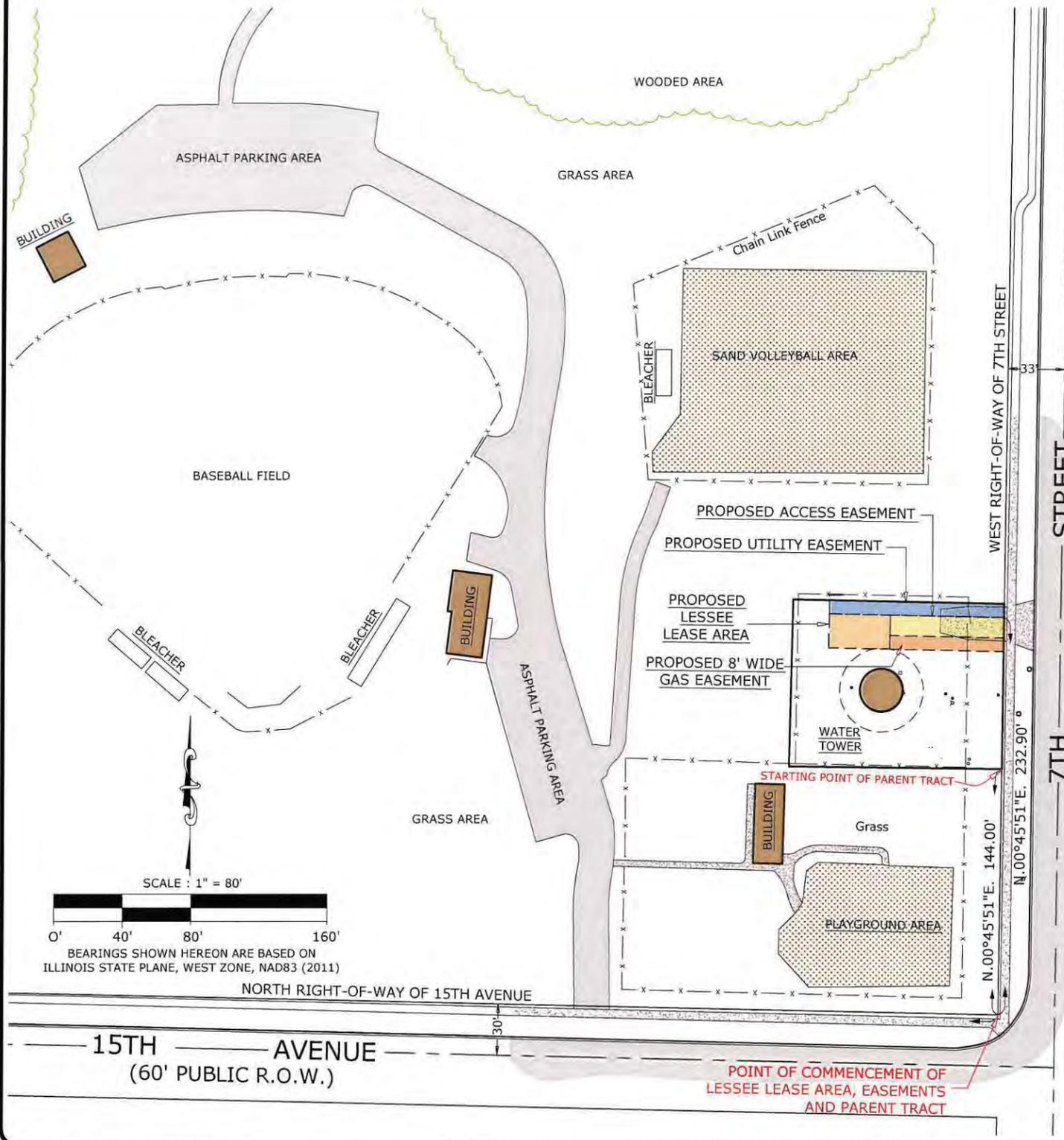
Table with 2 columns: DRAWN BY: NC, CHECKED BY: PS; CHECKED BY: RH, APPROVED BY: GMS



LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
GENERAL NOTES
& SPECIFICATIONS

SHEET NUMBER:
SP-2



PARENT TRACT:
 (Part of Exceptions in Deed document number 121186 filed December 10, 1907)

BEGINNING AT A POINT WHERE THE WEST LINE OF SEVENTH (7TH) STREET INTERSECTS THE NORTH LINE OF FIFTEENTH (15TH) AVENUE IN THE CITY OF MOLINE, THERE RUN NORTH ALONG THE SAID WEST LINE OF SEVENTH (7TH) STREET, ONE HUNDRED AND FORTY FOUR (144) FEET FOR A STARTING POINT, THENCE RUN WEST AT RIGHT ANGLES TO THE WEST LINE OF SEVENTH (7TH) STREET, ONE HUNDRED AND TWENTY FIVE (125) FEET, THENCE RUN NORTH AT RIGHT ANGLES TO THE NORTH LINE OF FIFTEENTH (15TH) AVENUE, NINETY EIGHT (98) FEET, THENCE RUN EAST PARALLEL TO THE NORTH LINE OF FIFTEENTH (15TH) AVENUE, ONE HUNDRED AND TWENTY FIVE (125) FEET, THENCE RUN SOUTH ON THE WEST LINE OF SEVENTH (17TH) STREET, NINETY EIGHT (98) FEET TO SAID STARTING POINT, IN COUNTY OF ROCK ISLAND, STATE OF ILLINOIS.

SAID TRACT OF LAND IS NOW OWNED BY HENRY DEEBELLISHN AND DORA HOESLI.

PROPOSED LESSEE LEASE AREA LEGAL DESCRIPTION:

A PARCEL OF LAND FOR LESSEE LEASE AREA PURPOSES, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 1 WEST OF THE 4TH P.M., ROCK ISLAND COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF 7TH STREET WITH THE NORTH RIGHT-OF-WAY LINE OF 15TH AVENUE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID WEST RIGHT-OF-WAY LINE, 232.90 FEET; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST, 66.64 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 01 DEGREES 16 MINUTES 14 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 20.00 FEET; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 36.00 FEET; THENCE NORTH 01 DEGREES 16 MINUTES 14 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 20.00 FEET; THENCE SOUTH 88 DEGREES 43 MINUTES 46 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 36.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 720.0 SQUARE FEET.

PROPOSED ACCESS EASEMENT LEGAL DESCRIPTION:

A PARCEL OF LAND FOR ACCESS EASEMENT PURPOSES, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 1 WEST OF THE 4TH P.M., ROCK ISLAND COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF 7TH STREET WITH THE NORTH RIGHT-OF-WAY LINE OF 15TH AVENUE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID WEST RIGHT-OF-WAY LINE, 232.90 FEET FOR A POINT OF BEGINNING; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST, 66.64 FEET; THENCE SOUTH 01 DEGREES 16 MINUTES 14 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 12.00 FEET; THENCE SOUTH 88 DEGREES 43 MINUTES 46 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 66.74 FEET TO SAID WEST RIGHT-OF-WAY LINE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE, 12.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 800.3 SQUARE FEET

PROPOSED UTILITY EASEMENT LEGAL DESCRIPTION:

A PARCEL OF LAND FOR UTILITY EASEMENT PURPOSES, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 1 WEST OF THE 4TH P.M., ROCK ISLAND COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF 7TH STREET WITH THE NORTH RIGHT-OF-WAY LINE OF 15TH AVENUE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID WEST RIGHT-OF-WAY LINE, 232.90 FEET FOR A POINT OF BEGINNING; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST, 102.64 FEET; THENCE NORTH 01 DEGREES 16 MINUTES 14 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 8.00 FEET; THENCE SOUTH 88 DEGREES 43 MINUTES 46 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 102.57 FEET TO SAID WEST RIGHT-OF-WAY LINE; THENCE SOUTH 00 DEGREES 45 MINUTES 51 SECONDS WEST ALONG SAID WEST RIGHT-OF-WAY LINE, 8.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 820.8 SQUARE FEET.

PROPOSED GAS EASEMENT LEGAL DESCRIPTION:

A PARCEL OF LAND FOR GAS EASEMENT PURPOSES, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 1 WEST OF THE 4TH P.M., ROCK ISLAND COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF 7TH STREET WITH THE NORTH RIGHT-OF-WAY LINE OF 15TH AVENUE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID WEST RIGHT-OF-WAY LINE, 232.90 FEET; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST, 66.64 FEET; THENCE SOUTH 01 DEGREES 16 MINUTES 14 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 20.00 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 88 DEGREES 43 MINUTES 46 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 66.81 FEET TO SAID WEST RIGHT-OF-WAY LINE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE, 8.00 FEET; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST, 66.74 FEET; THENCE SOUTH 01 DEGREES 16 MINUTES 14 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 8.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 534.2 SQUARE FEET.

7. 12/9/2015 REVISED LEASE AREA & EASEMENTS LOCATION PER CLIENT



PREPARED BY:
ASM
 ASM Consultants, Inc.
 16 E. Wilson Street, Batavia, IL 60510
 Tel (630) 879-0200 Fax (630) 454-4774
 advanced@advct.com
 Professional Design Firm #184-006014 expires 4/30/2015

PLAT OF SURVEY OF LESSEE LEASE AREA AND EASEMENTS

PREPARED FOR:
GTE WIRELESS MIDWEST, INC.
 limited partnership
 d/b/a/ Verizon Wireless

Concordia Wireless
 A division of Concordia Group, Ltd.
 361 Randy Road, Suite 101
 Carol Stream, IL 60188

NO.	DATE	REVISION
4.	4/8/2015	REISSUED PRELIMINARY SURVEY
5.	4/24/2015	FINAL SURVEY COMPLETED
6.	12/1/2015	REVISED GAS EASEMENT LOCATION PER CLIENT

SITE DESIGNATION INFORMATION:
STEPHENS PARK
LOCATION NO.: 288442
531 15TH AVENUE
MOLINE, IL 61265

DRAWN BY: PS
 CHECKED BY: CSM
PROJECT NO. 810006A
LS-2

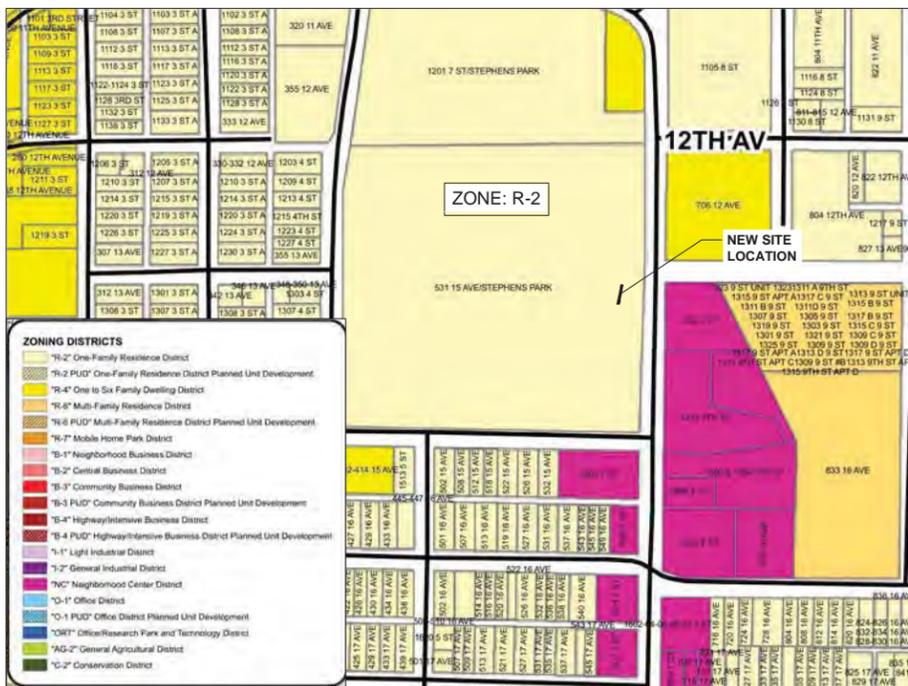


1 AERIAL VIEW
SCALE: N.T.S.



3 WETLAND MAP
SCALE: N.T.S.

WETLAND INFO:
THE PROJECT SITE "DOES NOT" APPEAR TO BE LOCATED WITHIN A WETLAND AREA, AS PER U.S.FISH AND WILDLIFE ONLINE MAPPER SERVICE TOOL



2 CITY OF MOLINE ZONING MAP
SCALE: N.T.S.



4 FLOOD PLAIN MAP
SCALE: N.T.S.

FLOOD PLAIN MAP INFO:
THE PROJECT SITE "DOES NOT" APPEAR TO BE LOCATED WITHIN A FLOOD PLAIN ("ZONE AE"), PANEL 310 OF 500, AS PER FEMA'S FLOOD INSURANCE RATE MAP #17161C0310F, REVISED ON APRIL 5, 2010. SITE LOCATED IN "ZONE X" -AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

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DRAWN BY: NC CHECKED BY: PS
CHECKED BY: RH APPROVED BY: GMS



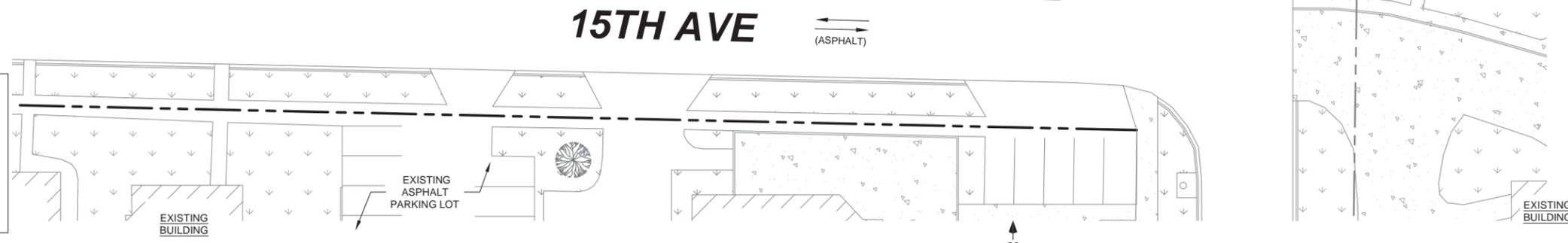
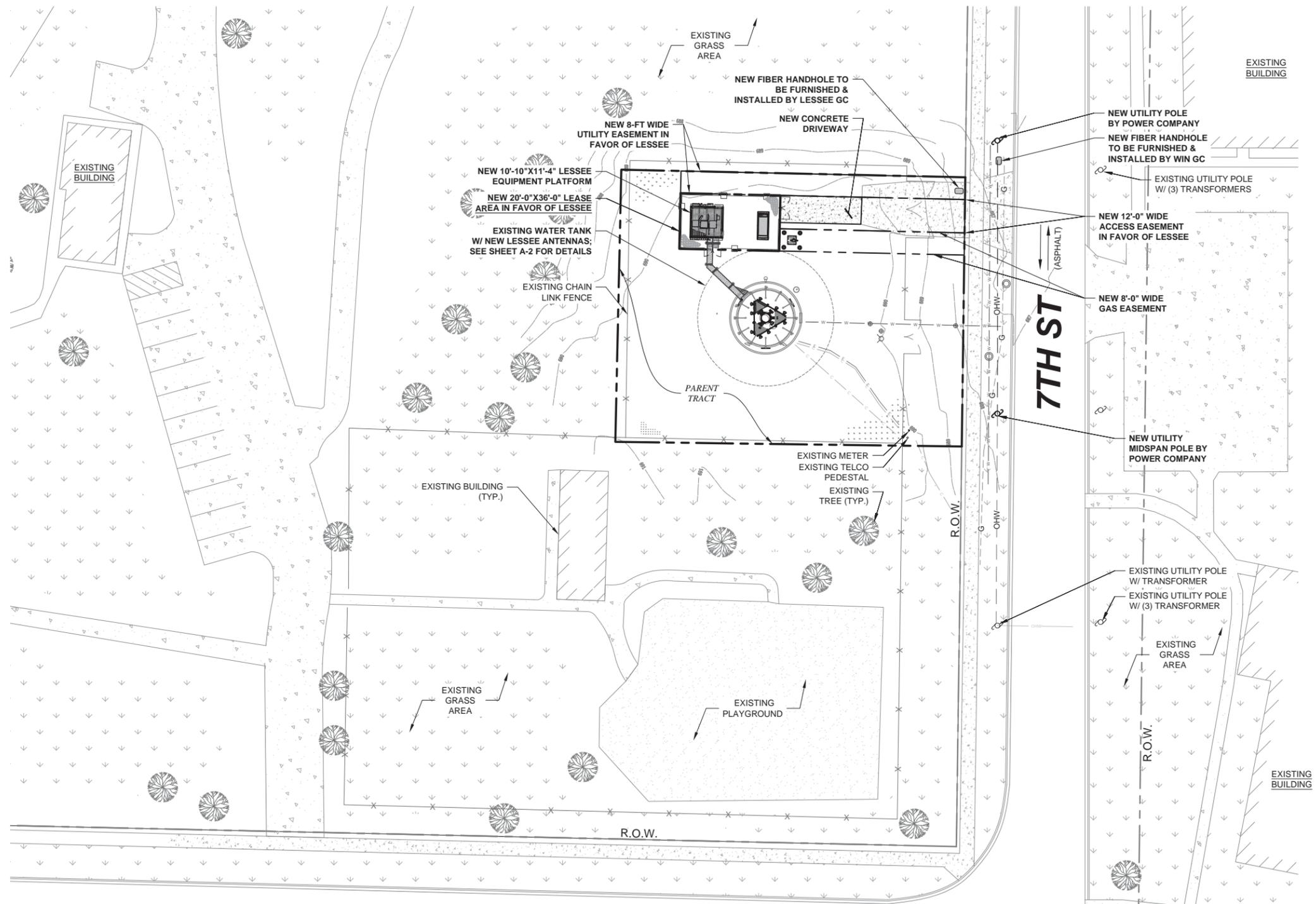
LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
**AERIAL, ZONING, FLOOD
AND WETLAND MAP**

SHEET NUMBER:
LS-3

LEGEND & SYMBOLS

- UTILITY POLE
- SIGN
- TELCO PEDESTAL
- FIRE HYDRANT
- LIGHT STANDARD
- INLET
- CATCH BASIN
- MANHOLE
- TRAFFIC SIGNAL
- ROW MARKER
- IRON PIPE SET
- IRON PIPE FOUND
- BUFFALO BOX
- GROUNDING TEST WELL
- VALVE BOX
- HORIZONTAL CONTROL POINT
- GENERATOR RECEPTACLE
- HANDICAPPED PARKING SPACE
- DT10 DECIDUOUS TREE W/SIZE
- CT10 CONIFEROUS TREE W/SIZE
- BRUSH
- TREE LINE
- 666 CONTOUR W/ELEVATION
- EXISTING GUARDRAIL
- CHAIN LINK FENCE
- IRON FENCE
- WOOD FENCE
- OHW OVERHEAD WIRES
- LEASE AREA LINE
- EASEMENT LINE
- UE UNDERGROUND ELECTRIC LINE
- UF UNDERGROUND FIBER OPTIC LINE
- GAS UNDERGROUND GAS LINE
- T UNDERGROUND TELECOMM. LINE
- SS/SA UNDERGROUND STORM/SANITARY SEWER LINE
- W UNDERGROUND WATER LINE
- C UNDERGROUND COMMUNICATION/MONITORING LINE



IMPORTANT NOTES:

1. GC TO HIRE PUBLIC JULIE & PRIVATE LOCATE SERVICE IN ORDER TO LOCATE AND PROTECT ANY AND ALL SURFACE UTILITIES. DO NOT SCALE OFF THESE PLANS FOR ANY BELOW GRADE UTILITIES.
2. THESE PLANS MAY NOT CONTAIN OR REVEAL ALL SUBSURFACE UTILITIES; GC IS RESPONSIBLE OF LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION
3. GC WILL NOT START CONSTRUCTION UNTIL AFTER THEY RECEIVE THE PRE CON PACKAGE AND HAVE A PRE CON WALK WITH THE PM.

1 OVERALL SITE PLAN
 SCALE: 3/64"=1'-0" (3/64"=2'-0" IF 11X17 SHEET SIZE)



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 d/b/a VERIZON WIRELESS

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CONCORDIA WIRELESS, INC.
 361 RANDY ROAD
 UNIT 101
 CAROL STREAM, IL 60188
 MAIN: (847) 981-0801

DRAWN BY: NC	CHECKED BY: PS
CHECKED BY: RH	APPROVED BY: GMS

GHAZWAN M. SADAT
 062-061844
 LICENSED PROFESSIONAL ENGINEER OF ILLINOIS
G. Sadat

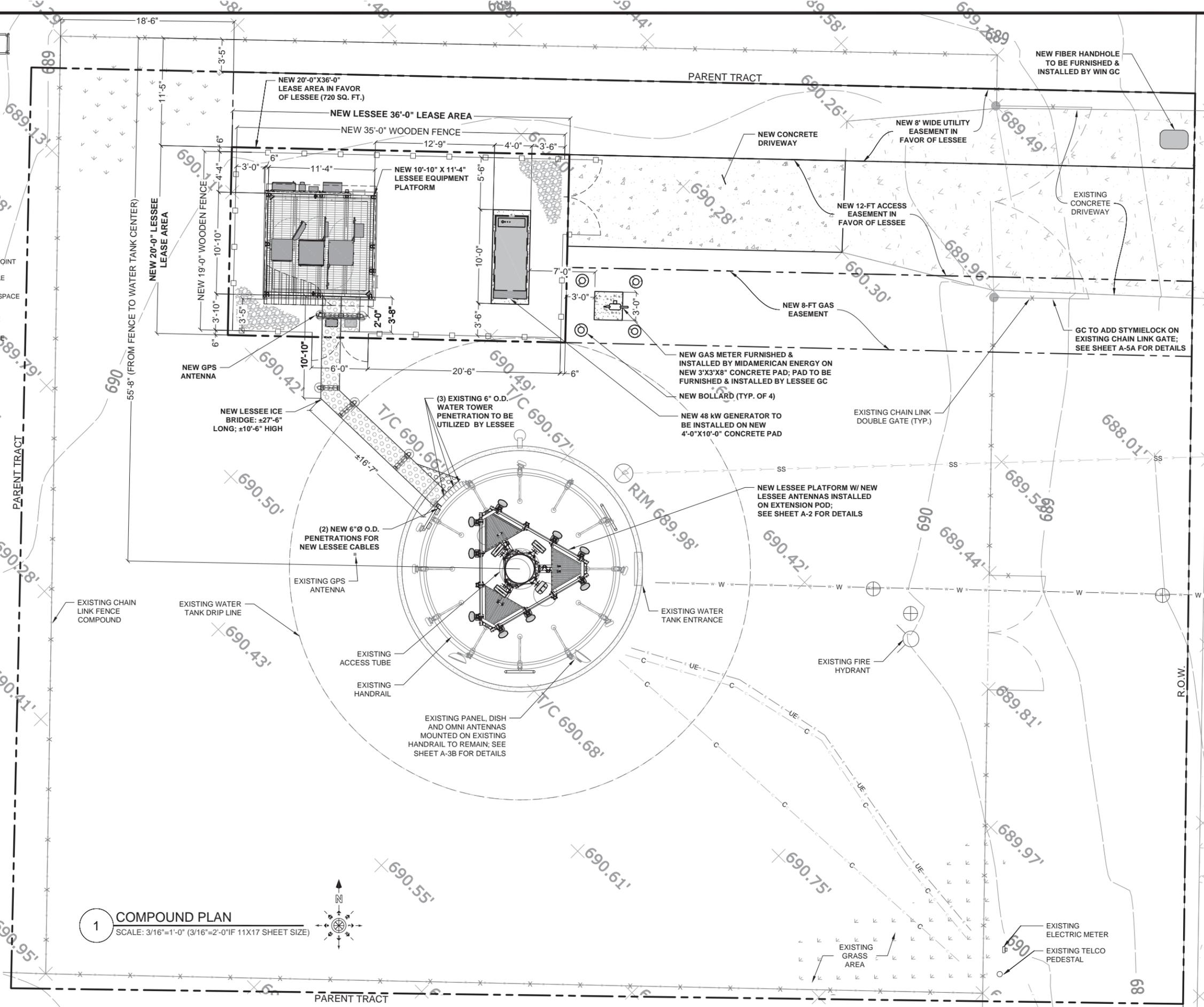
LOCATION # 288442
 STEPHENS PARK
 531 15TH AVE
 MOLINE, IL 61265

SHEET TITLE:
OVERALL SITE PLAN

SHEET NUMBER:
A-0

LEGEND & SYMBOLS

- UTILITY POLE
- SIGN
- TELCO PEDESTAL
- FIRE HYDRANT
- LIGHT STANDARD
- INLET
- CATCH BASIN
- MANHOLE
- TRAFFIC SIGNAL
- ROW MARKER
- IRON PIPE SET
- IRON PIPE FOUND
- BUFFALO BOX
- GROUNDING TEST WELL
- VALVE BOX
- HORIZONTAL CONTROL POINT
- GENERATOR RECEPTACLE
- HANDICAPPED PARKING SPACE
- DT100 DECIDUOUS TREE W/SIZE
- CT100 CONIFEROUS TREE W/SIZE
- BRUSH
- TREE LINE
- 666 CONTOUR W/ELEVATION
- EXISTING GUARDRAIL
- CHAIN LINK FENCE
- IRON FENCE
- WOOD FENCE
- OHW OVERHEAD WIRES
- LEASE AREA LINE
- EASEMENT LINE
- UE UNDERGROUND ELECTRIC LINE
- UF UNDERGROUND FIBER OPTIC LINE
- GAS UNDERGROUND GAS LINE
- T UNDERGROUND TELECOMM. LINE
- SS/SA UNDERGROUND STORM/SANITARY SEWER LINE
- W UNDERGROUND WATER LINE
- C UNDERGROUND COMMUNICATION/ MONITORING LINE



1 COMPOUND PLAN
 SCALE: 3/16"=1'-0" (3/16"=2'-0" IF 11X17 SHEET SIZE)

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DRAWN BY: NC CHECKED BY: PS
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GHAZWAN M. SADAT
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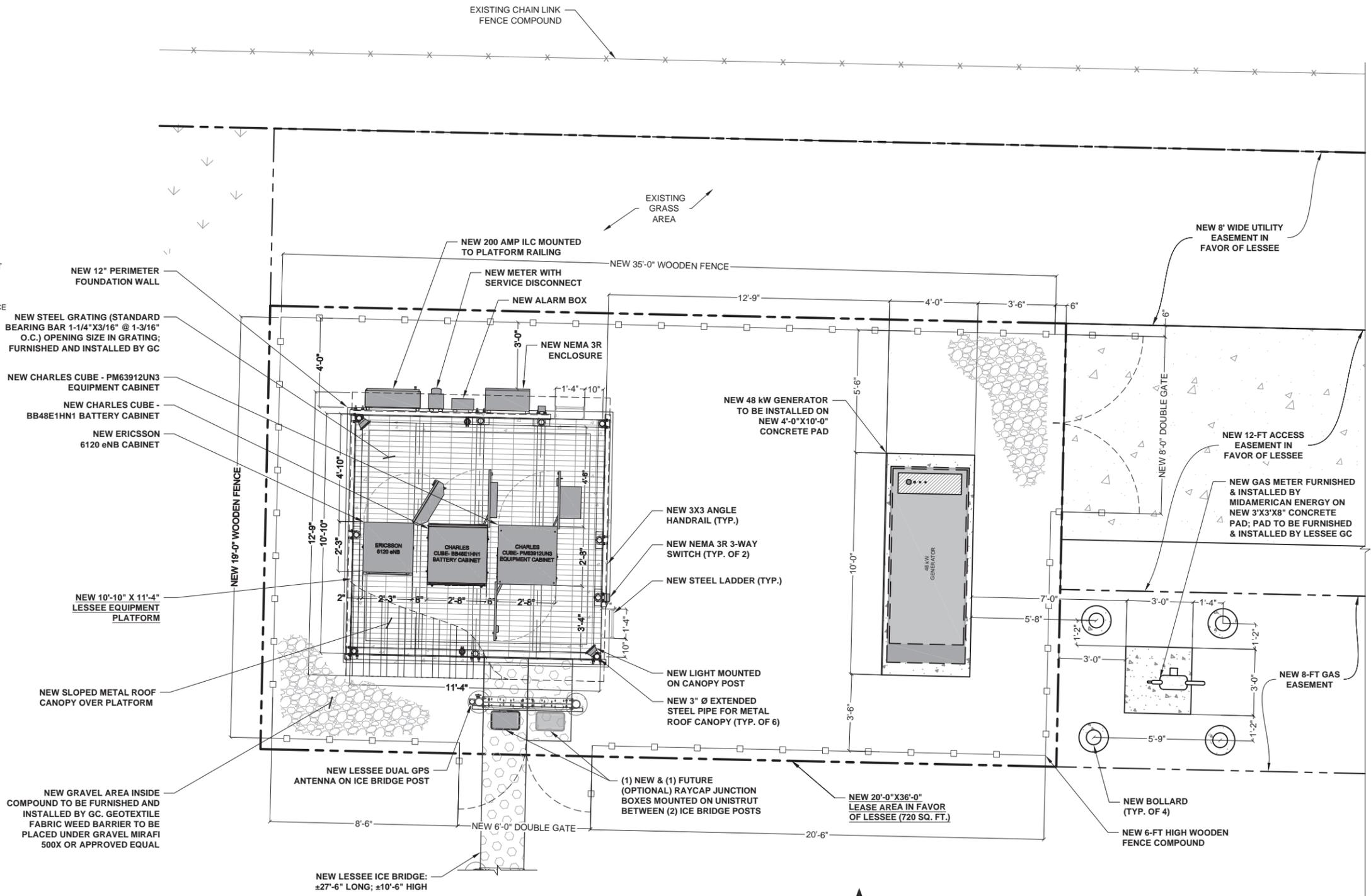
LOCATION # 288442
 STEPHENS PARK
 531 15TH AVE
 MOLINE, IL 61265

SHEET TITLE:
COMPOUND PLAN

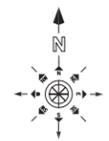
SHEET NUMBER:
A-1

LEGEND & SYMBOLS

- UTILITY POLE
- SIGN
- TELCO PEDESTAL
- FIRE HYDRANT
- LIGHT STANDARD
- INLET
- CATCH BASIN
- MANHOLE
- TRAFFIC SIGNAL
- ROW MARKER
- IRON PIPE SET
- IRON PIPE FOUND
- BUFFALO BOX
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- WOOD FENCE
- OHW
- OVERHEAD WIRES
- LEASE AREA LINE
- OE
- OVERHEAD ELECTRIC LINE
- EASEMENT LINE
- UE
- UNDERGROUND ELECTRIC LINE
- UF
- UNDERGROUND FIBER OPTIC LINE
- UG
- UNDERGROUND GAS LINE
- T
- UNDERGROUND TELECOMM. LINE
- SS/SA
- UNDERGROUND STORM/SANITARY SEWER LINE
- W
- UNDERGROUND WATER LINE
- COM
- UNDERGROUND COMMUNICATION/MONITORING LINE



1 PROPOSED LESSEE LEASE AREA PLAN WITH NEW EQUIPMENT LAYOUT
SCALE: 3/8"=1'-0" (3/8"=2'-0" IF 11X17 SHEET SIZE)



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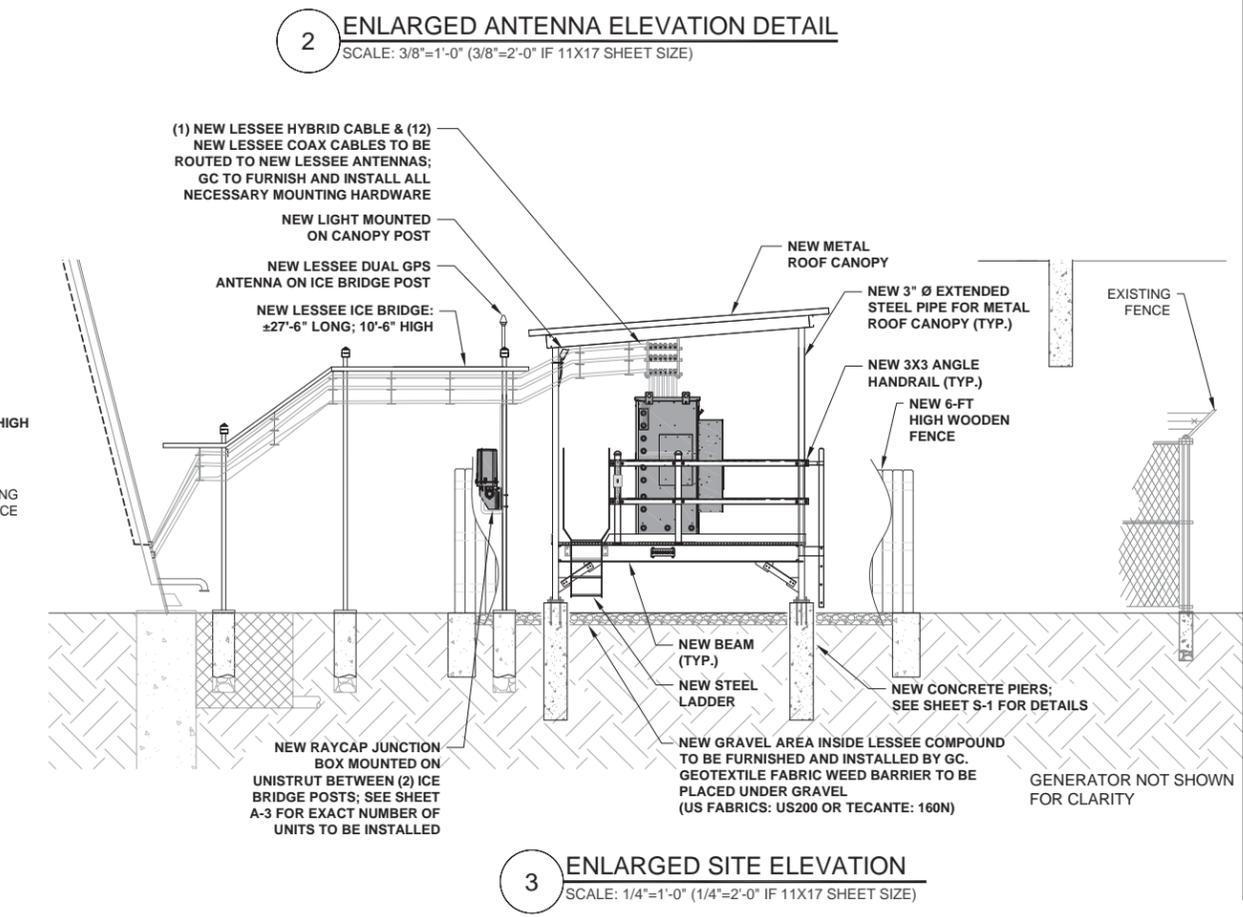
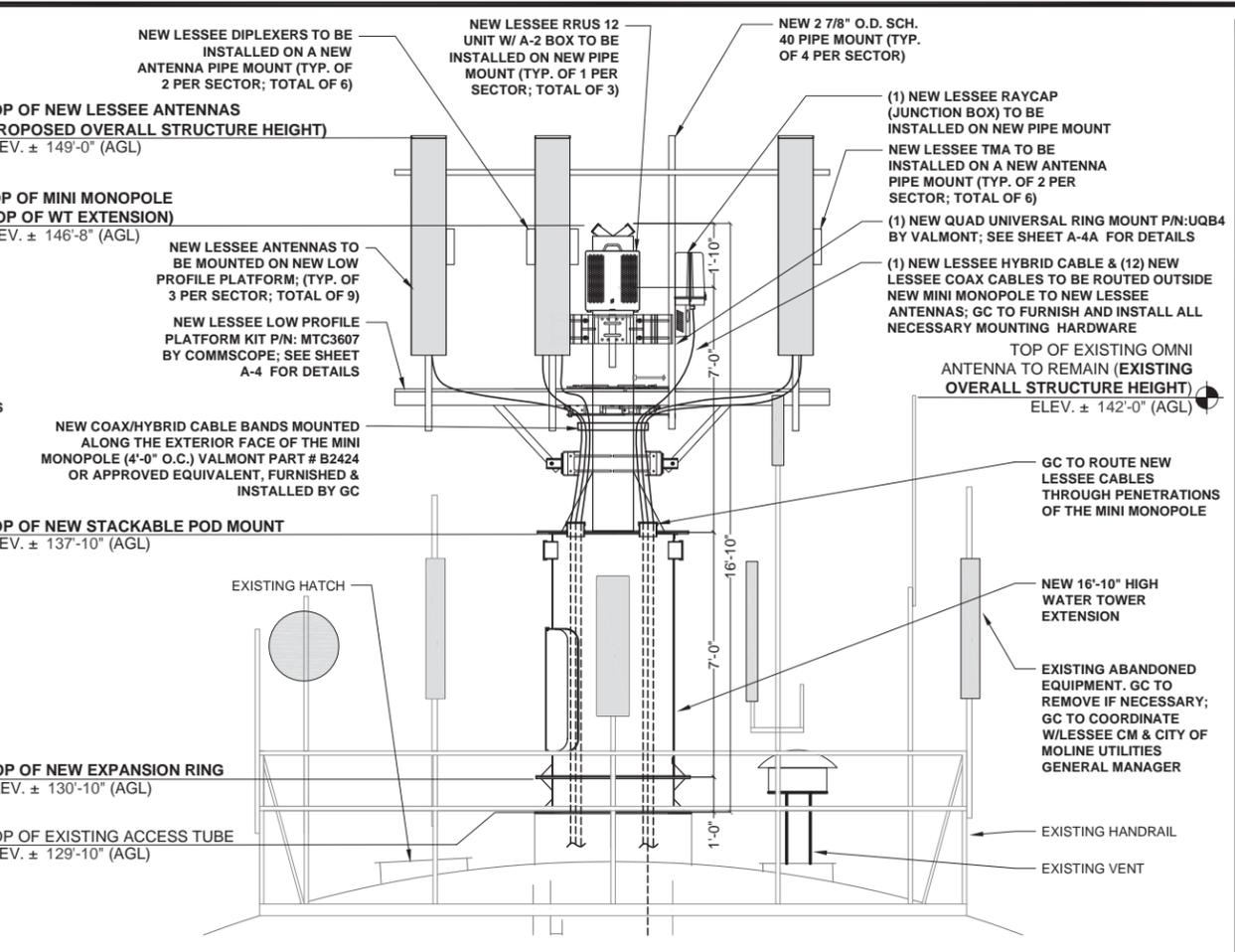
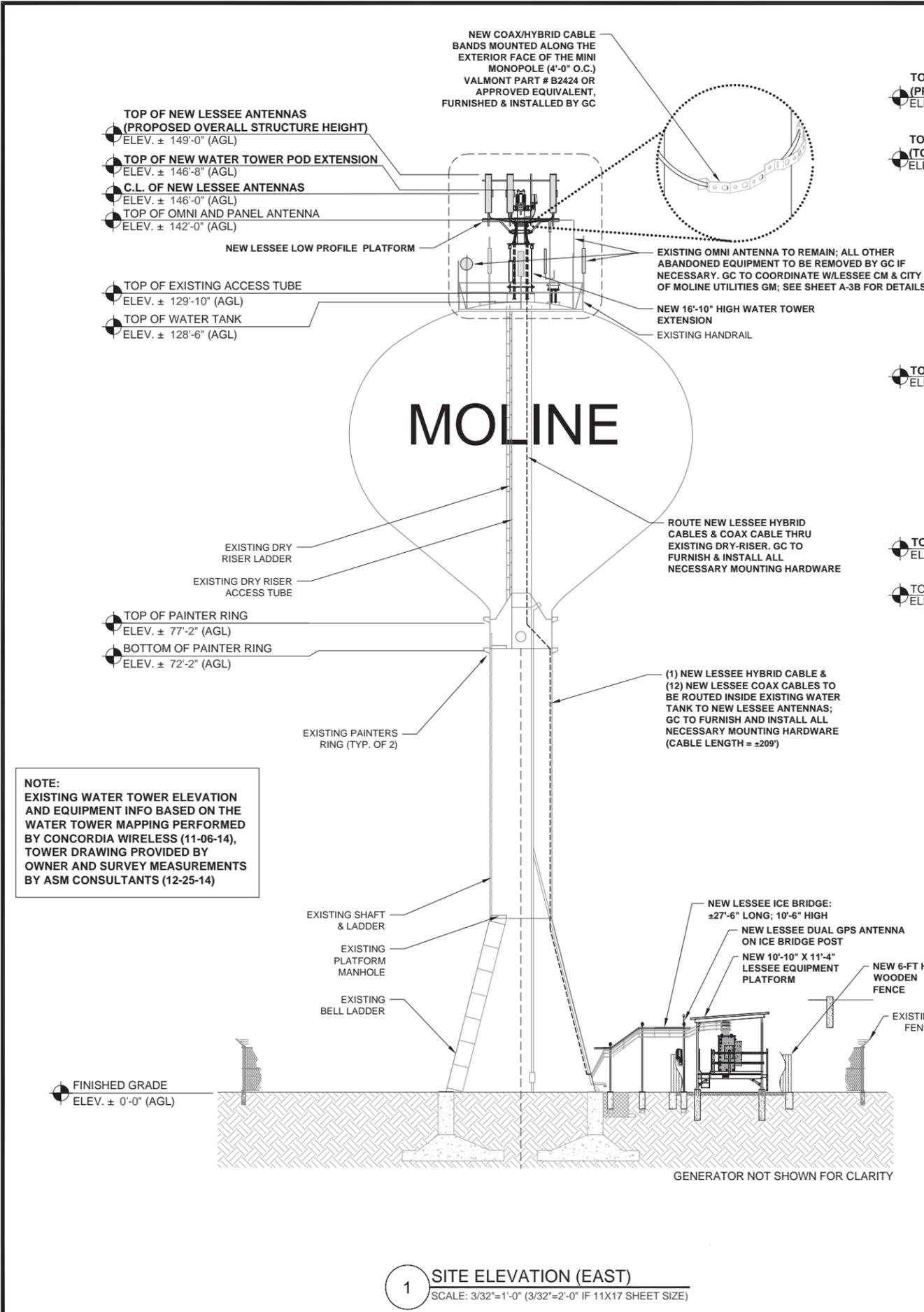
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CHECKED BY: RH APPROVED BY: GMS

GHAZWAN M. SADAT
062-061844
LICENSED PROFESSIONAL ENGINEER OF ILLINOIS
G. Sadat

LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
NEW EQUIPMENT LAYOUT

SHEET NUMBER:
A-1A



**GTE WIRELESS
MIDWEST, INC.**
d/b/a VERIZON WIRELESS

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G. Sadat

LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
SITE ELEVATION

SHEET NUMBER:
A-2

EQUIPMENT CHANGE REQUEST FORM- ECR

Cell Name	Stephens Park	RF Engineer	Trisha Bhuyan	Cell ID	531 15th Ave
Location Number	288442	Market	Rockford	Address	Moline, IL 61265
Date of Request	9/29/2015			City/State/Zip	

		PROPOSED CONFIGURATION				Configuration				Option-A2		
Sector	Pos	Antenna		Antenna Manufacturer	Antenna Model	Antenna Serial Number	Centerline	Azimuth	Variable Tilt	Mechanical Tilt	Action	
		Port	RF Path									
Alpha	A1	L1 (-45)	LTE C - RxTx0	Andrew	SBNHH-1D65B		146	30	3	0	Add- Install	
		L2 (+45)	LTE C - RxTx1									
		H1 (-45)	AWS - Rx2									
		H2 (+45)	AWS - Rx3									
		H3 (-45)	Unused at this time									
	H4 (+45)	Unused at this time										
	A2	L1 (-45)	Unused at this time									
		L2 (+45)	Unused at this time									
		H1 (-45)	Unused at this time									
		H2 (+45)	Unused at this time									
		H3 (-45)	Unused at this time									
	A3	L1 (-45)	CEL - RxTx0	Andrew	SBNHH-1D65B		146	30	3	0	0	Add- Install
		L2 (+45)	CEL - RxTx1									
		H1 (-45)	Unused at this time									
		H2 (+45)	Unused at this time									
		H3 (-45)	Unused at this time									
A4	L1 (-45)	LTE C - Rx2	Andrew	SBNHH-1D65B		146	30	3	0	0	Add- Install	
	L2 (+45)	LTE C - Rx3										
	H1 (-45)	AWS - RxTx0										
	H2 (+45)	AWS - RxTx1										
	H3 (-45)	Unused at this time										
Beta	B1	L1 (-45)	LTE C - RxTx0	Andrew	SBNHH-1D65B		146	150	3	0	Add- Install	
		L2 (+45)	LTE C - RxTx1									
		H1 (-45)	AWS - Rx2									
		H2 (+45)	AWS - Rx3									
		H3 (-45)	Unused at this time									
	H4 (+45)	Unused at this time										
	B2	L1 (-45)	Unused at this time									
		L2 (+45)	Unused at this time									
		H1 (-45)	Unused at this time									
		H2 (+45)	Unused at this time									
		H3 (-45)	Unused at this time									
	B3	L1 (-45)	CEL - RxTx0	Andrew	SBNHH-1D65B		146	150	3	0	0	Add- Install
		L2 (+45)	CEL - RxTx1									
		H1 (-45)	Unused at this time									
		H2 (+45)	Unused at this time									
		H3 (-45)	Unused at this time									
B4	L1 (-45)	LTE C - Rx2	Andrew	SBNHH-1D65B		146	150	3	0	0	Add- Install	
	L2 (+45)	LTE C - Rx3										
	H1 (-45)	AWS - RxTx0										
	H2 (+45)	AWS - RxTx1										
	H3 (-45)	Unused at this time										
GAMMA	G1	L1 (-45)	LTE C - RxTx0	Andrew	SBNHH-1D65B		146	270	4	0	Add- Install	
		L2 (+45)	LTE C - RxTx1									
		H1 (-45)	AWS - Rx2									
		H2 (+45)	AWS - Rx3									
		H3 (-45)	Unused at this time									
	G2	L1 (-45)	Unused at this time									
		L2 (+45)	Unused at this time									
		H1 (-45)	Unused at this time									
		H2 (+45)	Unused at this time									
		H3 (-45)	Unused at this time									
	G3	L1 (-45)	CEL - RxTx0	Andrew	SBNHH-1D65B		146	270	4	0	0	Add- Install
		L2 (+45)	CEL - RxTx1									
		H1 (-45)	Unused at this time									
		H2 (+45)	Unused at this time									
		H3 (-45)	Unused at this time									
	G4	L1 (-45)	LTE C - Rx2	Andrew	SBNHH-1D65B		146	270	4	0	0	Add- Install
L2 (+45)		LTE C - Rx3										
H1 (-45)		AWS - RxTx0										
H2 (+45)		AWS - RxTx1										
H3 (-45)		Unused at this time										
H4 (+45)	Unused at this time											

Comments
RE mentioned that we can only go on top of the WT, 146ft. RE asked RF to revise the ECR to show a different address than what was provided at NWF candiate submission.

Proposed					
Passive Components	Location	Manufacturer	Component Model	Count	Action
	Top (Platform)				
	Top (Platform)				
	Top (Platform)	Westell	AWC-TTMA-700C-VG	6	Install
	Top (Platform)	Ericsson	RRUS 12 - AWS	3	Install
	Top (Platform)	Ericsson	A2	3	Install
	Top (Platform)	Raycap	RCMDC-3315-PF-48	1	Install
	Top (Platform)	ANDREW	CBC78-DF-8-DCB	6	Install
	Top (Platform)				
	Top (Platform)				
Bottom (Shelter)	Raycap	RCMDC-3315-PF-48	1	Install	
Bottom (Shelter)	ANDREW	CBC78-DF-8-DCB	6	Install	
Bottom (Shelter)					

Coax	Sector	Coax Manufacturer	Type	Size	Count	Action
	Alpha	ANDREW		1 5/8	4	Install
	Beta	ANDREW		1 5/8	4	Install
	Gamma	ANDREW		1 5/8	4	Install
	AWS	Andrew	Hybrid Cable	1 5/8	1	Install

2 COMBINER - CABLE DATA

1 EQUIPMENT CHANGE REQUEST FORM

**GTE WIRELESS
MIDWEST, INC.**
d/b/a VERIZON WIRELESS

CONCORDIA, LTD
A PROFESSIONAL DESIGN FIRM
LICENSE # 3323-011- D.B.A.
CONCORDIA WIRELESS, INC.
361 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
MAIN: (847) 981-0801

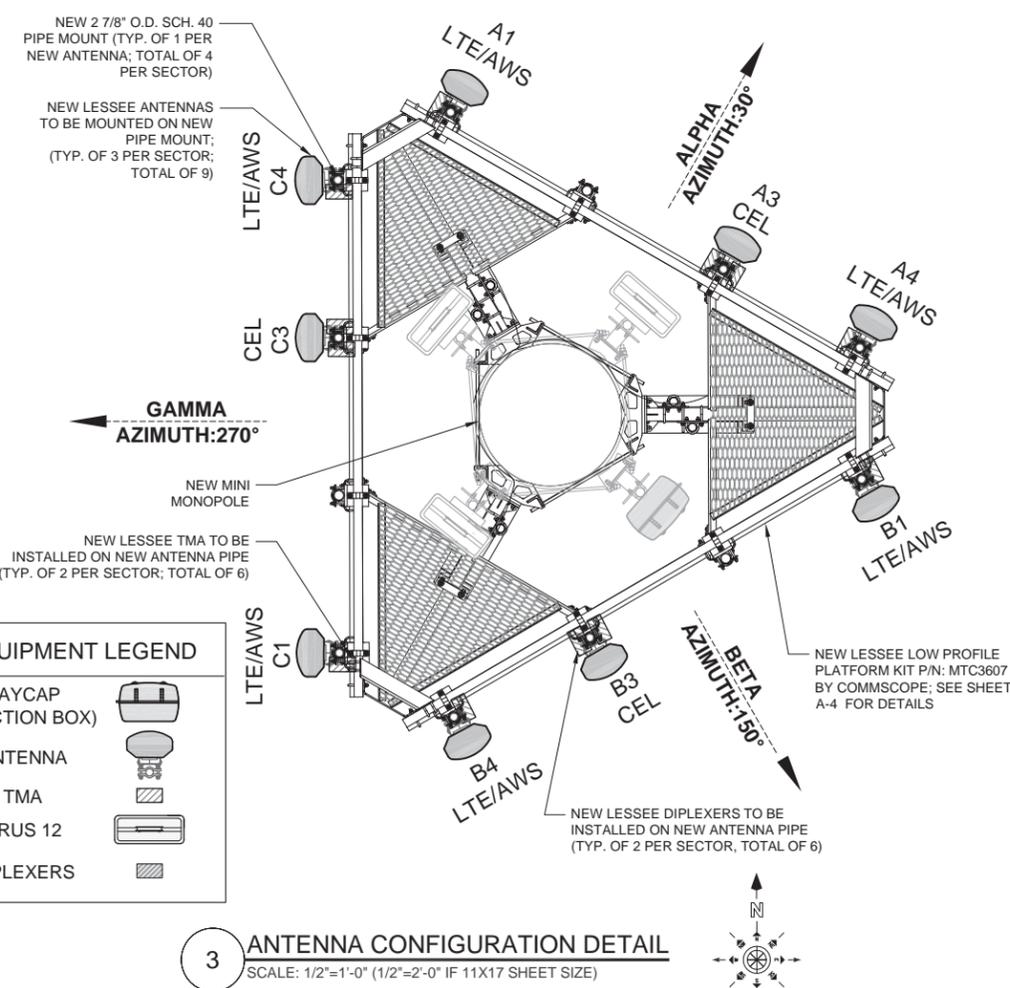
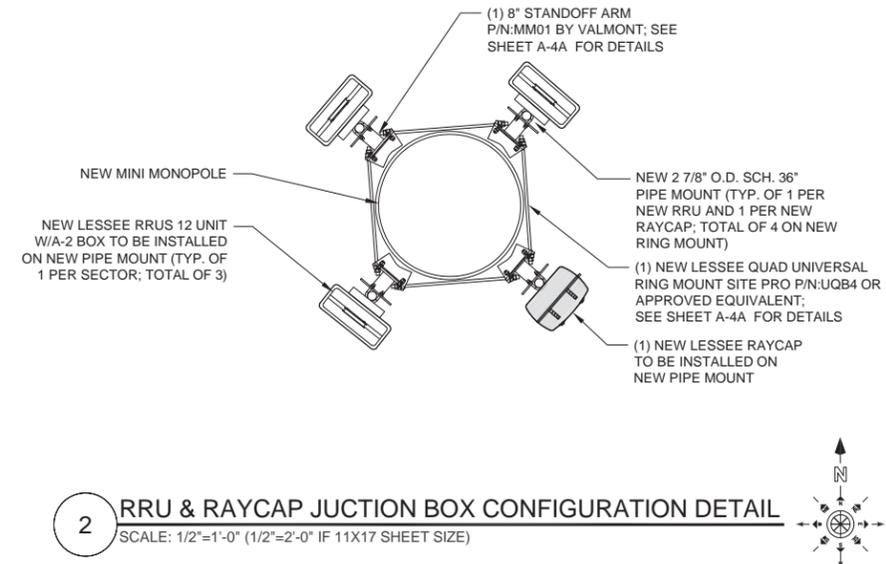
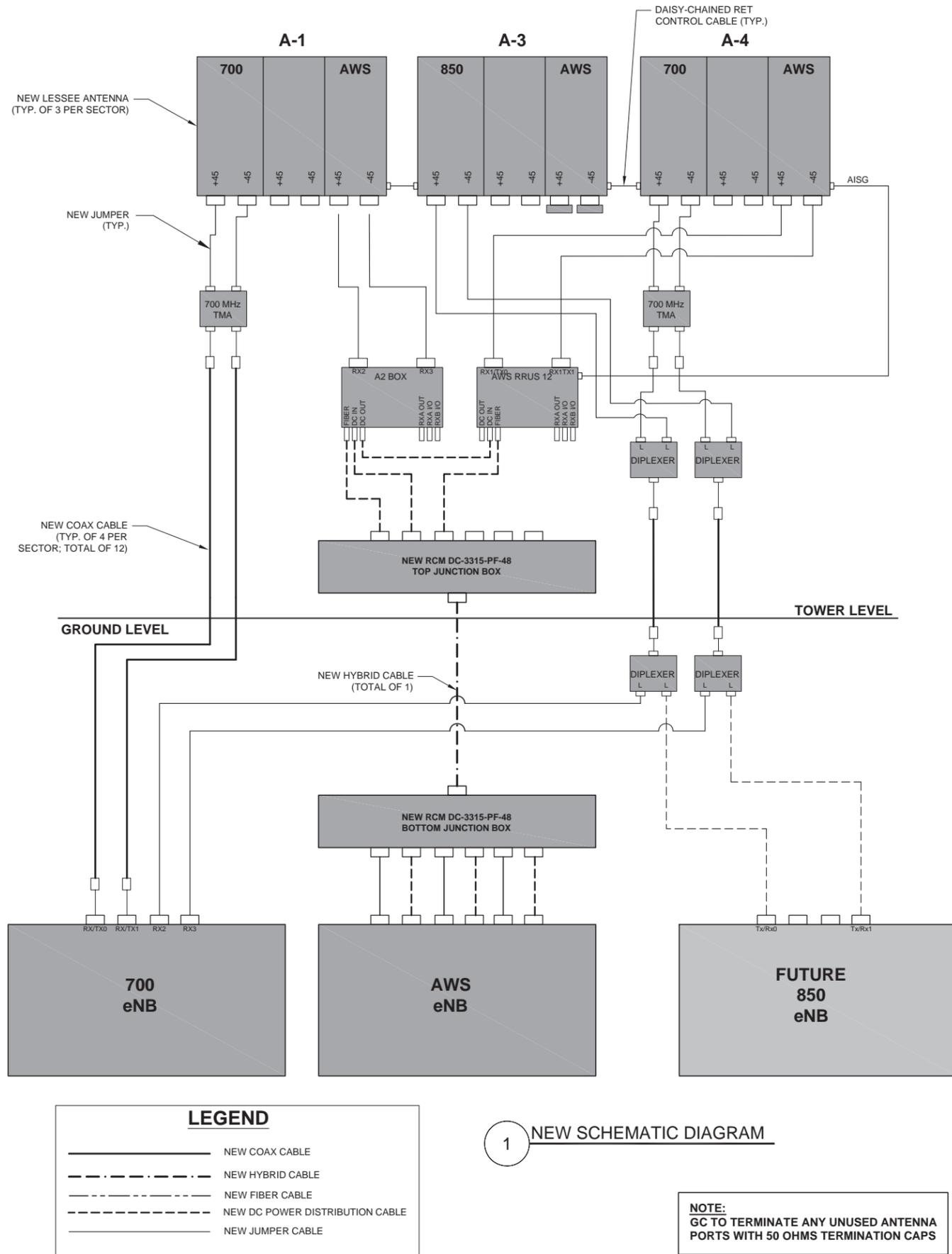
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CHECKED BY: RH	APPROVED BY: GMS

GHAZWAN M. SADAT
062-061844
LICENSED PROFESSIONAL ENGINEER OF ILLINOIS
G M Sadat

LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
ECR FORM & CABLE DATA

SHEET NUMBER:
A-3



**GTE WIRELESS
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d/b/a VERIZON WIRELESS

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062-061844
LICENSED PROFESSIONAL ENGINEER OF ILLINOIS

G. Sadat

LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
NEW SCHEMATIC DIAGRAM AND ANTENNA CONFIGURATION DETAIL

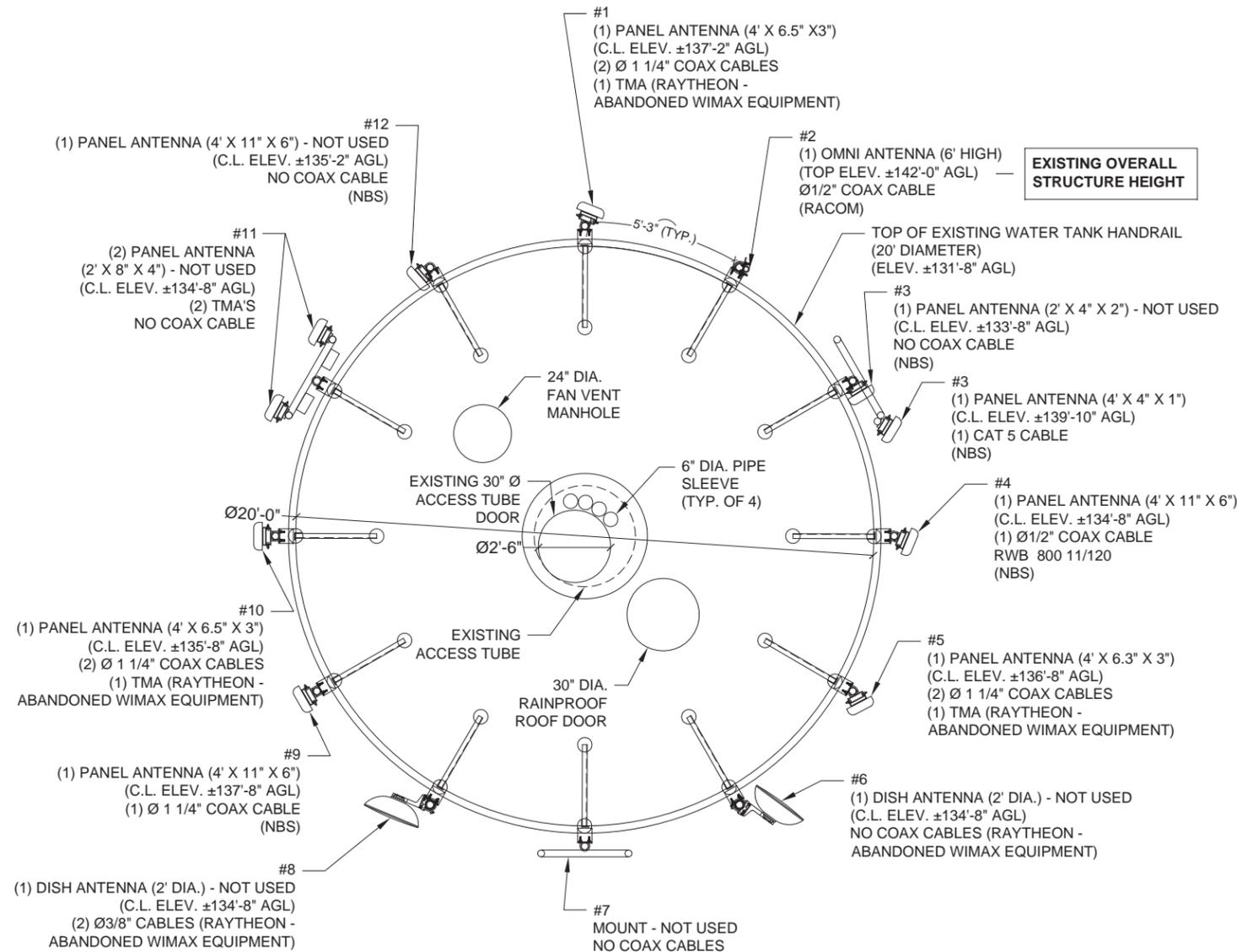
SHEET NUMBER:
A-3A

EXISTING WATER TANK TENANTS' CONTACT INFORMATION:

- 1. ROCK ISLAND PD PUBLIC SAFETY RECEIVER**
 RACOM CORPORATION
 1515 46TH AVENUE #1
 MOLINE, IL 61265
 BRIAN YOUNGREN - MANAGER - MOLINE OPERATIONS
 O: (309) 797-7709, C:309-525-2860
 BRIAN.YOUNGREN@RACOM.NET
GC TO CONTACT RACOM 48 HRS PRIOR TO CONSTRUCTION START
- 2. NBS INC.**
 23834 EAST 1260TH STREET
 GENESEO, IL 61254
 KARI HOFMANN
 (815) 452-2804
 EMAIL: KARI@NBSON.COM

PER PHONE CONVERSATION WITH KARI HOFMANN (08-25-15 8:45 AM) - NBS IS PLANNING TO REMOVE ALL OF THEIR EQUIPMENT BEFORE SEPT. 30TH 2015; VERIZON GC TO CUT/REMOVE NBS CABLES AS NECESSARY

PER EMAIL FROM KARI HOFMANN (10-9-15, 7:59 AM) NBS HAS SCHEDULED REMOVAL OF THEIR EQUIPMENT FOR OCT - 12.
- 3. RAYTHEON - WIMAX (ABANDONED EQUIPMENT)**
 GC TO CONTACT CITY OF MOLINE UTILITIES
 GENERAL MANAGER IF NECESSARY:
 GREG SWANSON - MOLINE UTILITIES GM
 (309) 524-2301



1 EXISTING WATER TOWER HANDRAIL
 SCALE: 3/8"=1'-0" (3/8"=2'-0" IF 11X17 SHEET SIZE)



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 d/b/a VERIZON WIRELESS

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 UNIT 101
 CAROL STREAM, IL 60188
 MAIN: (847) 981-0801

DRAWN BY: NC	CHECKED BY: PS
CHECKED BY: RH	APPROVED BY: GMS



Ghazwan M. Sadat

LOCATION # 288442
 STEPHENS PARK
 531 15TH AVE
 MOLINE, IL 61265

SHEET TITLE:
**EXISTING WATER TOWER
 HANDRAIL EQUIPMENT LAYOUT**

SHEET NUMBER:
A-3B



SBNHH-1D65B
 Andrew® Tri-band Antenna, 698-896 and 2x 1695-2360 MHz, 65° horizontal beamwidth, internal RET. Both high bands share the same electrical tilt.
 • Interleaved dipole technology providing for attractive, low wind load mechanical package

General Specifications

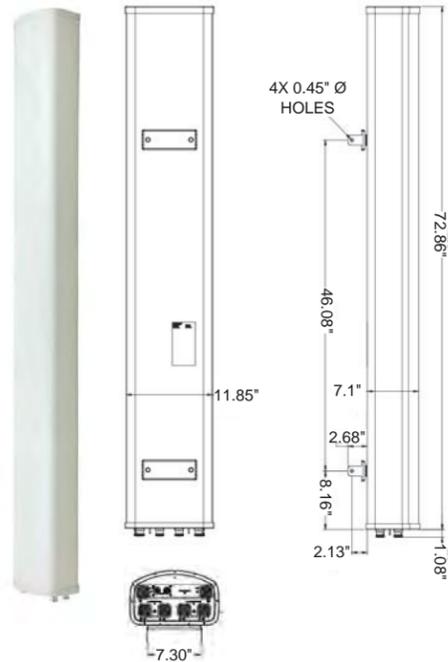
Antenna Brand	Andrew®
Antenna Type	DualPoi® multiband with internal RET
Band	Multiband
Brand	DualPoi® Teletilt®
Operating Frequency Band	1695 - 2360 MHz 698 - 896 MHz
Performance Note	Outdoor usage

Mechanical Specifications

Color	Light gray
Lightning Protection	dc Ground
Radiator Material	Aluminum Low loss circuit board
Radome Material	Fiberglass, UV resistant
Reflector Material	Aluminum
RF Connector Interface	7-16 DIN Female
RF Connector Location	Bottom
RF Connector Quantity, total	6
Wind Loading, maximum	617.7 N @ 150 km/h 138.9 lbf @ 150 km/h
Wind Speed, maximum	241.4 km/h 150.0 mph

Dimensions

Depth	181.0 mm 7.1 in
Length	1851.0 mm 72.9 in
Width	301.0 mm 11.9 in
Net Weight	18.4 kg 40.6 lb

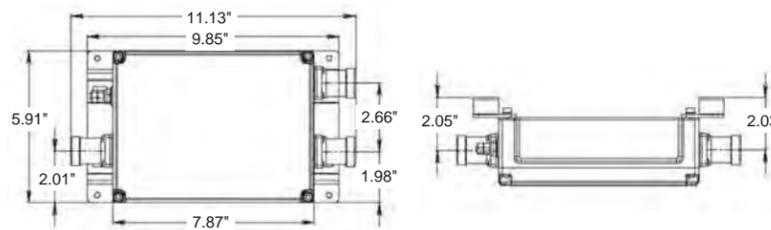


1 NEW ANDREW ANTENNA DETAILS (SBNHH-1D65B)
 SCALE: N.T.S.



Dimensions

Depth	66.5 mm 2.6 in
Height	200.0 mm 7.9 in
Volume	2.0 L
Width	150.0 mm 5.9 in
Weight, without mounting hardware	3.0 kg 6.6 lb

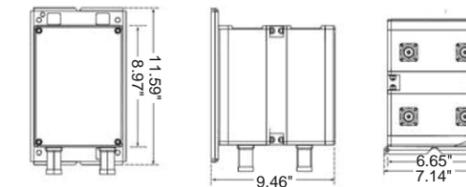


2 NEW ANDREW DIPLEXER DETAILS (CBC78-DF-8-DCB)
 SCALE: N.T.S.

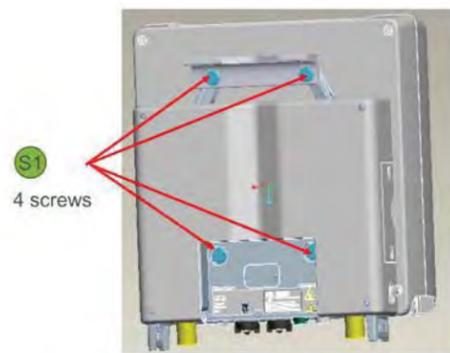


Mechanical

Size (H x W x D)	9" x 6.7" x 8.9"
Weight	28 lbs
Color	Off-white
Connectors: RF	Long Neck 7/16 DIN Female
Mounting	Pedestal, Pole, Wall; Mounting bracket provided
Temperature Range	-40°C to +65°C
Weather Rating (IEC 60529)	IP67



3 NEW WESTELL TMA DETAILS (AWC-TTMA-700C-VG)
 SCALE: N.T.S.



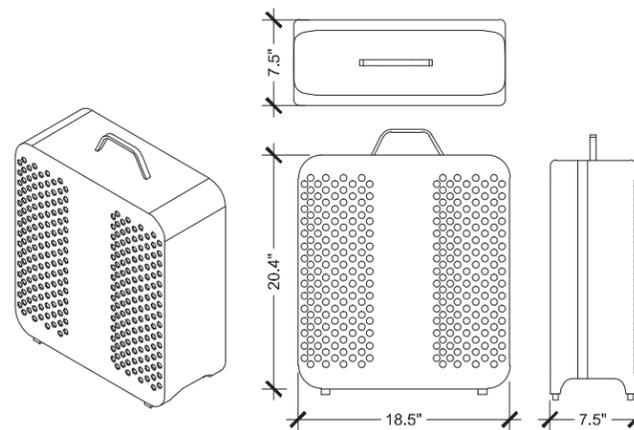
S1
 4 screws



S1 Screw: SXA 215 3525/0550 (included with the RRUS A2)

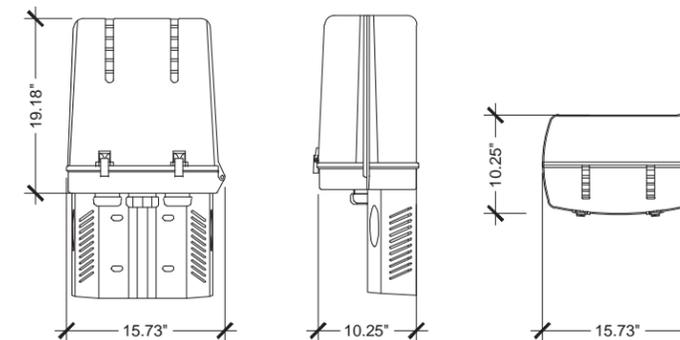
Band	PCS	AWS
Product Name	RRUS A2 B2	RRUS A2 B4
Product Number	KRC 161 286/1	KRC 161 290/1
TX power	N/A	N/A
RX branches	2	2
Dimensions (HxWxD)	16.4"x15.1"x3.4"	16.4"x15.1"x3.4"
Weight	22 lbs	22 lbs
HW Availability	Jan. '14	Jan. '14
SW Dependency	L13A	L13A

4 RRUS A2
 SCALE: N.T.S.



- › GSM, WCDMA, LTE
- › 8 carriers over 40 MHz IBW
- 4 carriers WCDMA, LTE
- › Up to 20 MHz LTE
- › Up to 2 x 60 W
- › IBW = up to 40 MHz
- › 20.4"x18.5"x7.5"
- › 50 lbs
- › 58 lbs in Extranet description

5 NEW ERICSSON RRUS 12-AWS DETAILS
 SCALE: N.T.S.



Dimensions

Depth	261.9 mm 10.3 in
Height	734.82 mm 28.93 in
Width	399.54 mm 15.73 in
Weight	14.5 kg 32.0 lb

6 NEW RAYCAP (JUNCTION BOX)
 SCALE: N.T.S.

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 d/b/a VERIZON WIRELESS

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CONCORDIA WIRELESS, INC.
 361 RANDY ROAD
 UNIT 101
 CAROL STREAM, IL 60188
 MAIN: (847) 981-0801

DRAWN BY: NC CHECKED BY: PS
 CHECKED BY: RH APPROVED BY: GMS



LOCATION # 288442
 STEPHENS PARK
 531 15TH AVE
 MOLINE, IL 61265

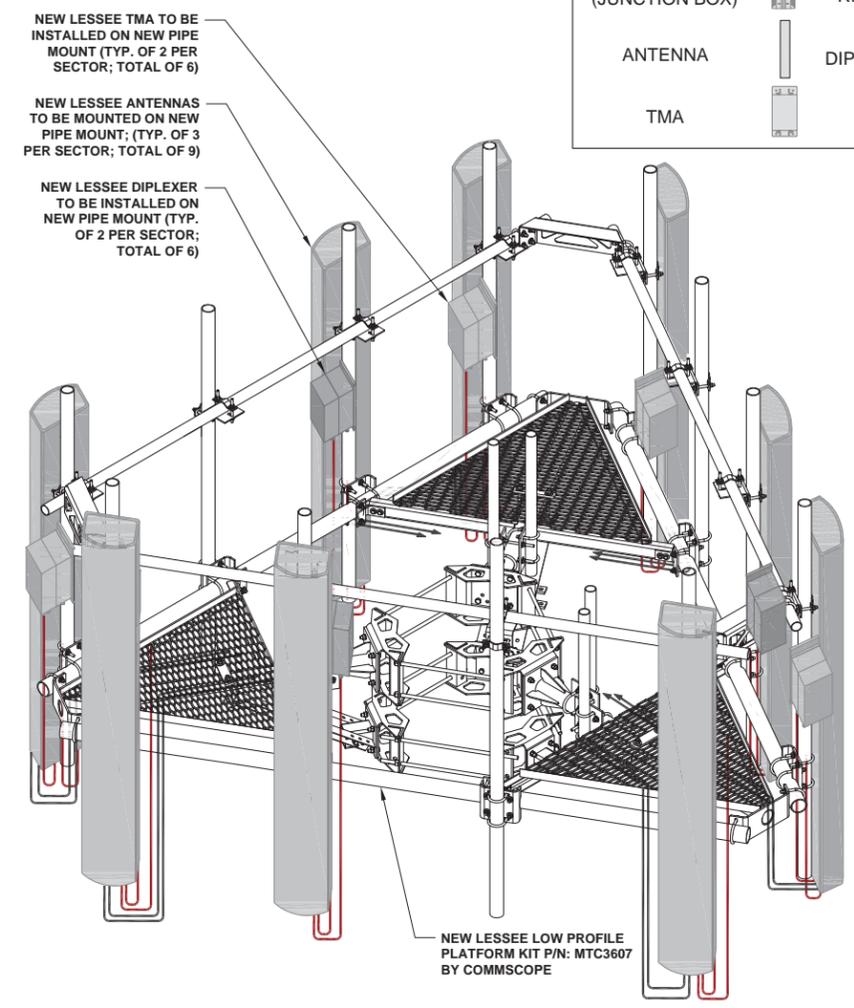
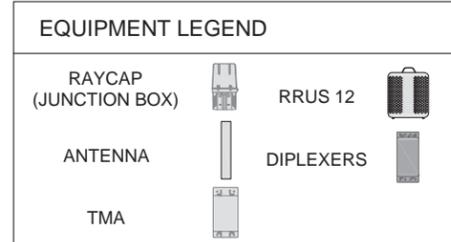
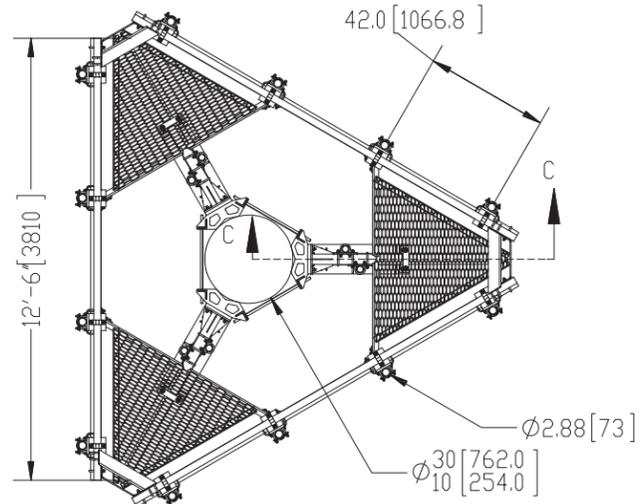
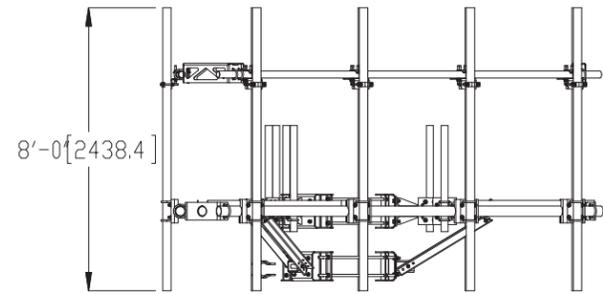
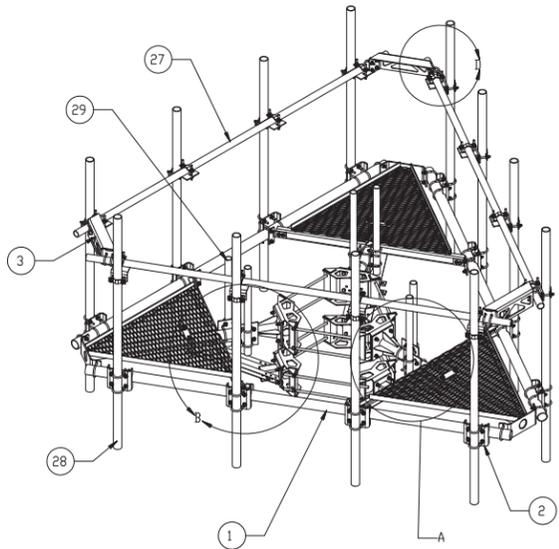
SHEET TITLE:
EQUIPMENT DETAILS

SHEET NUMBER:
A-3C

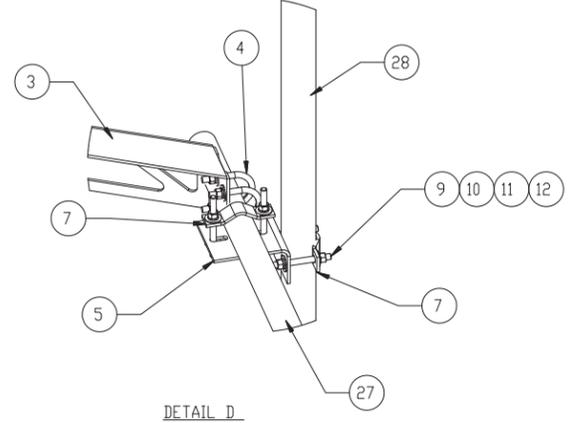
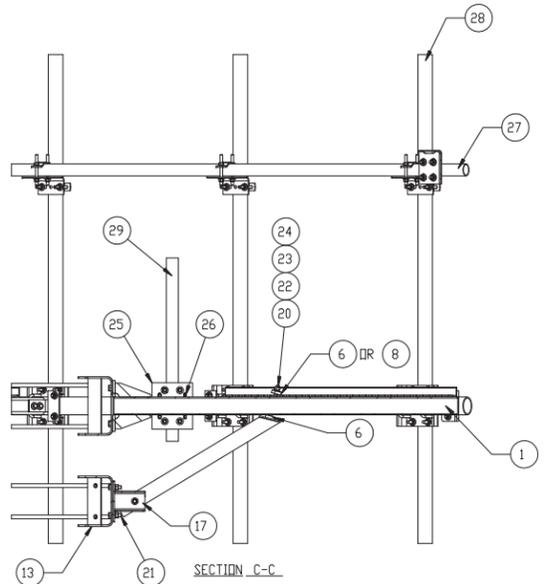
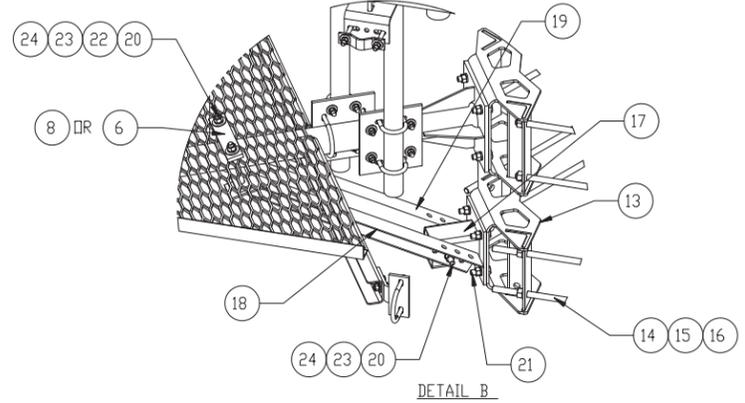
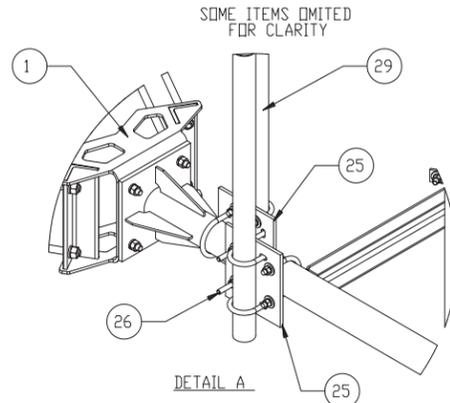
ITEM	PART NO.	DESCRIPTION	QTY.	WEIGHT
1	MC-PK12S-B	LOW PROFILE CO-LOCATION PLATFORM KIT	1	859.05 LBS
2	MT-219M-H	3.5" O.D. X 2-7/8" O.D. Clamp Bracket Assembly	12	12.78 LBS
3	MT19525	Corner Weldment	3	14.76 LBS
4	GUB-4240	1/2" X 2-1/2" X 4" GALV U-BOLT	12	0.56 LBS
5	XAU01	Angle BRK	12	3.59 LBS
6	MTC323704	Clamp Bar	6	2.37 LBS
7	ACP10	1.5" - 3.5" O.D. CLAMP HALF	24	0.61 LBS
8	DCP10	SMALL CLAMP HALF	6	2.21 LBS
9	MT-379-6	1/2" X 6" GALV THREADED ROD	48	0.33 LBS
10	GW-04	1/2" GALV FLAT WASHER	96	0.03 LBS
11	GN-04	1/2" GALV LOCK WASHER	96	0.01 LBS
12	GN-04	1/2" GALV HEX NUT	96	0.04 LBS
13	MTC306503	CW 1030 Ringmount Weldment	3	28.02 LBS
14	MT3B430B7	3/4" X 30" GALV THREADED ROD GRADE B7	6	3.73 LBS
15	GN-06	3/4" GALV LOCK WASHER	12	0.04 LBS
16	GN-06	3/4" GALV HEX NUT	12	0.14 LBS
17	MTC313802	Kicker Mount Standoff	3	13.08 LBS
18	MTC323701	Left Kicker	3	14.36 LBS
19	MTC323702	Right Kicker	3	14.36 LBS
20	MT-381-8	5/8" X 8" GALV THREADED ROD	9	0.69 LBS
21	GB-0520A	5/8" X 2" GALV BOLT KIT (A325)	12	0.27 LBS
22	GW-05	5/8" GALV FLAT WASHER	12	0.06 LBS
23	GN-05	5/8" GALV LOCK WASHER	18	0.03 LBS
24	GN-05	5/8" GALV HEX NUT	18	0.08 LBS
25	XP-2030	CROSSOVER PLATE Ø2.375" O.D. TO Ø3.5" O.D.	6	10.56 LBS
26	MT-379-8	1/2" X 8" GALV THREADED ROD	6	0.44 LBS
27	MT-651-150	Ø2.375" O.D. X 150" PIPE	3	45.42 LBS
28	MT54696	Ø2.875" O.D. X 96" PIPE	12	46.51 LBS
29	MT-649	2" 3/8" X 36" Pipe	6	10.90 LBS

NOTES:
1. ALL METRIC DIMENSIONS ARE IN BRACKETS.
2. FITS NONPILES Ø10" - Ø30".

REV.	ZONE	REVISIONS	BY	DATE
A		INITIAL RELEASE	MSM	10/09/13
B		MT-219M-H WAS MT-219L-H	MSM	10/10/13
C		ADD 6EA MT-379-8	MSM	10/30/13



LOW PROFILE PLATFORM (ANDREW PART #: MTC3607)
SCALE: N.T.S.



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361 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
MAIN: (847) 981-0801

DRAWN BY: NC CHECKED BY: PS
CHECKED BY: RH APPROVED BY: GMS



Ghazwan M. Sadat

LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
**NEW LOW PROFILE PLATFORM
DETAILS BY COMMSCOPE**

SHEET NUMBER:
A-4

**GTE WIRELESS
MIDWEST, INC.**
d/b/a VERIZON WIRELESS

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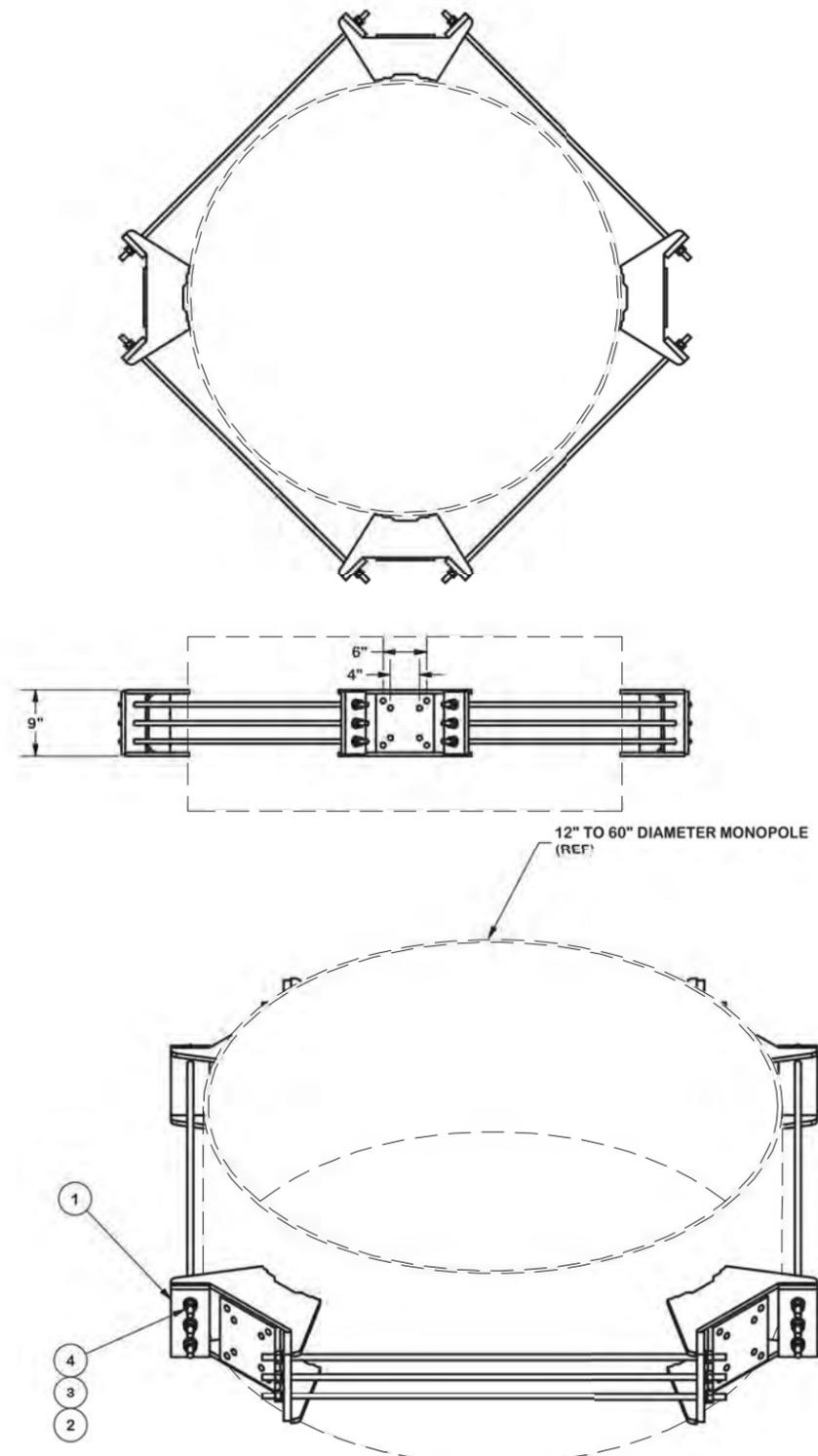
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CHECKED BY: RH APPROVED BY: GMS

GHAZWAN M. SADAT
062-061844
LICENSED PROFESSIONAL ENGINEER OF ILLINOIS
G. Sadat

LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
**NEW RRU/RAYCAP
MOUNT SPECIFICATIONS
BY SITE PRO 1**

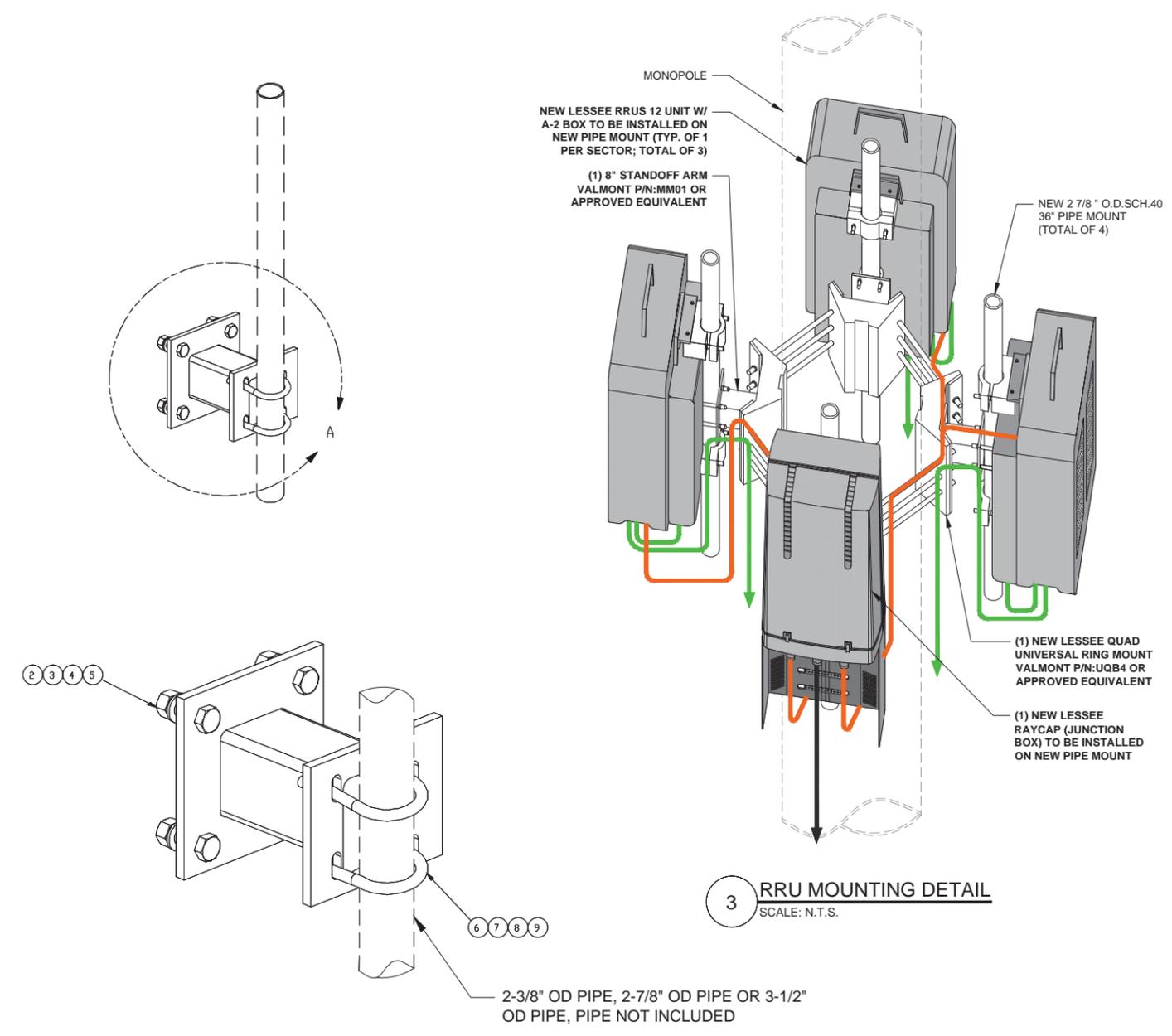
SHEET NUMBER:
A-4A



PARTS LIST

ITEM	QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT.	NET WT.
1	4	X-182290	QUAD BRACKET		54.48	217.94
2	24	A58FW	5/8" HDG A325 FLATWASHER		0.03	0.82
3	24	G58LW	5/8" HDG LOCKWASHER		0.03	0.63
4	24	A58NUT	5/8" HDG A325 HEX NUT		0.13	3.12
5	12	G58R-60	5/8" x 60" THREADED ROD (HDG.)		0.35	4.22
					TOTAL WT. #	285.23

1 NEW QUAD UNIVERSAL RING MOUNT (UQB4)
SCALE: N.T.S.



PARTS LIST

ITEM	QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT.	NET WT.
1	1	X-WWM01	8" STAND-OFF ARM / WALL MOUNT		18.12	18.12
2	4	A582112	5/8" x 2-1/2" HDG A325 HEX BOLT	2 1/2 in	0.33	1.34
3	4	A58FW	5/8" HDG A325 FLATWASHER		0.03	0.14
4	4	G58LW	5/8" HDG LOCKWASHER		0.03	0.10
5	4	A58NUT	5/8" HDG A325 HEX NUT		0.13	0.52
6	2	X-UB1212	1/2" X 2-1/2" X 4-1/2" X 2" GALV. U-BOLT		0.66	1.31
6	2	X-UB1300	1/2" X 3" X 5" X 2" GALV U-BOLT		0.70	1.39
6	2	X-UB1358	1/2" X 3-5/8" X 5-1/2" X 3" GALV U-BOLT		0.77	1.54
7	4	G12FW	1/2" HDG USS FLATWASHER		0.03	0.14
8	4	G12LW	1/2" HDG LOCKWASHER		0.01	0.06
9	4	G12NUT	1/2" HDG HEAVY 2H HEX NUT		0.07	0.29
					TOTAL WT. #	26.06

2 NEW 8" STAND-OFF ARM (MM01)
SCALE: N.T.S.

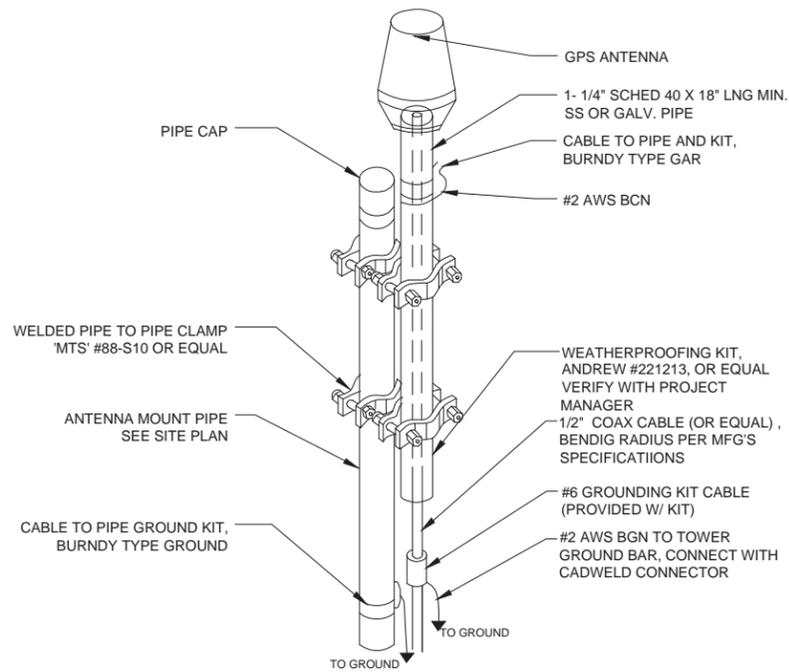
NOTES:

1. THE GPS ANTENNA MOUNT IS DESIGNED TO FASTEN TO A STANDARD 1-1/4" DIA. SCH. 40 GALVANIZED OR STAINLESS STEEL PIPE. THE PIPE MUST BE THREADED AT THE ANTENNA MOUNT END. THE PIPE SHALL BE CUT TO THE REQUIRED LENGTH (MIN. OF 18") USING A WAND OR ROTARY PIPE CUTTER TO ASSURE A SMOOTH PERPENDICULAR CUT. THE CUT PIPE END SHALL BE DEBURRED AND SMOOTH IN ORDER TO SEAL AGAINST THE NEOPRENE GASKET ATTACHED TO THE ANTENNAS MOUNT.

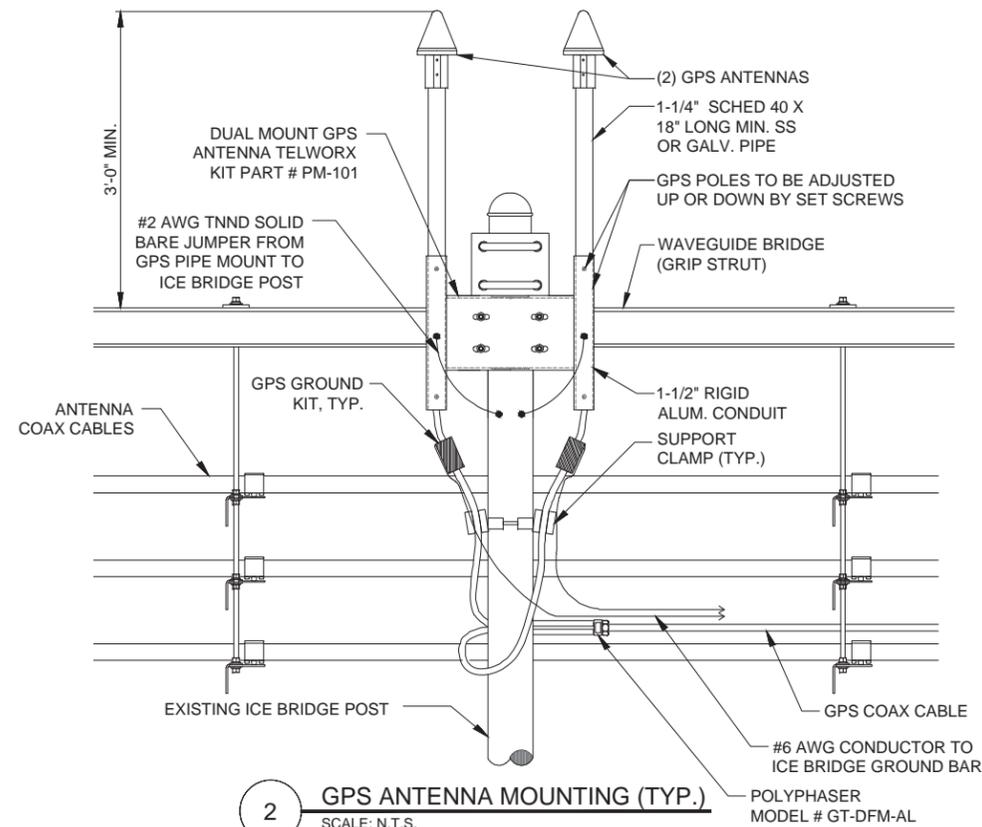
2. THE MOUNTING PLATE SHALL BE FABRICATED AS SHOWN AND ATTACHED TO THE APPROPRIATE SUPPORT STRUCTURE USING U-BOLTS. THE SUPPORT PIPE FOR THE GPS SHALL BE MOUNTED USING OVERSIZED U-BOLTS TO ALLOW ADJUSTMENT. IT IS CRITICAL THAT THE GPS ANTENNA IS MOUNTED WITHIN 2" OF VERTICAL AND THE BASE OF THE ANTENNA IS WITHIN 2" LEVEL.

3. INSTALL GPS ANTENNA AS SPECIFIED ON SITE PLAN. IF INSTALLING ON ICE/CABLE BRIDGE ENSURE THAT GPS IS A MINIMUM OF 10' ABOVE GRADE, ON THE FURTHEST POST FROM THE TOWER TO ATTAIN MAXIMUM COVERAGE.

4. GPS ANTENNA(S) TO BE INSTALLED BY LESSEE OPERATIONS TEAM.



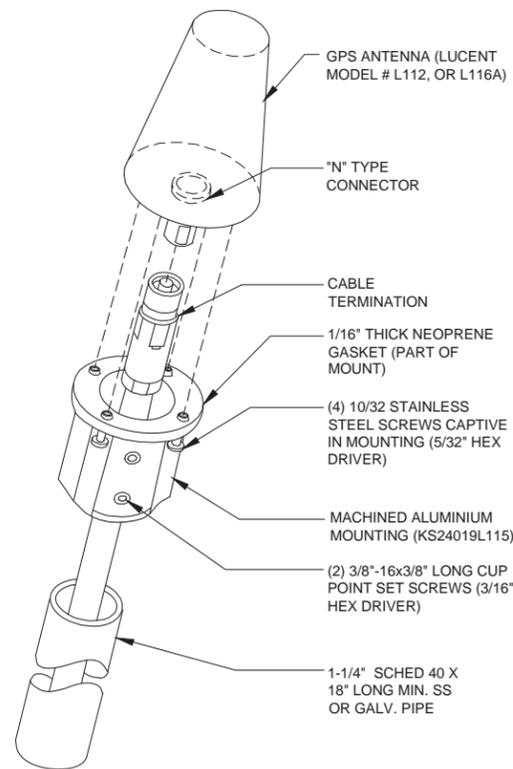
1 GPS ANTENNA DETAIL (TYP.)
SCALE: N.T.S.



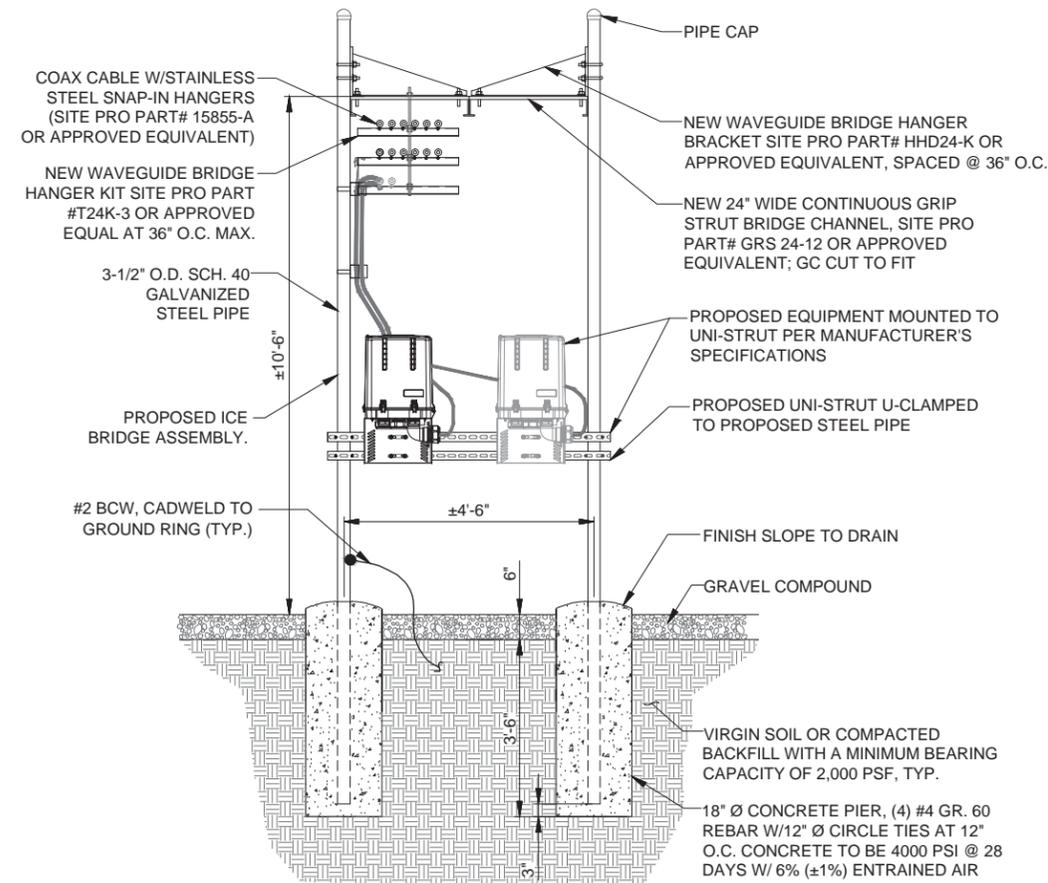
2 GPS ANTENNA MOUNTING (TYP.)
SCALE: N.T.S.



TYPICAL GPS ANTENNA



3 GPS ANTENNA MOUNTING
SCALE: N.T.S.



4 RAYCAP MOUNT & ICEBRIDGE DETAIL (TYP.)
SCALE: N.T.S.

**GTE WIRELESS
MIDWEST, INC.**
d/b/a VERIZON WIRELESS

CONCORDIA, LTD
A PROFESSIONAL DESIGN FIRM
LICENSE # 3323-011-D.B.A.
CONCORDIA WIRELESS, INC.
361 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
MAIN: (847) 981-0801

DRAWN BY: NC CHECKED BY: PS
CHECKED BY: RH APPROVED BY: GMS

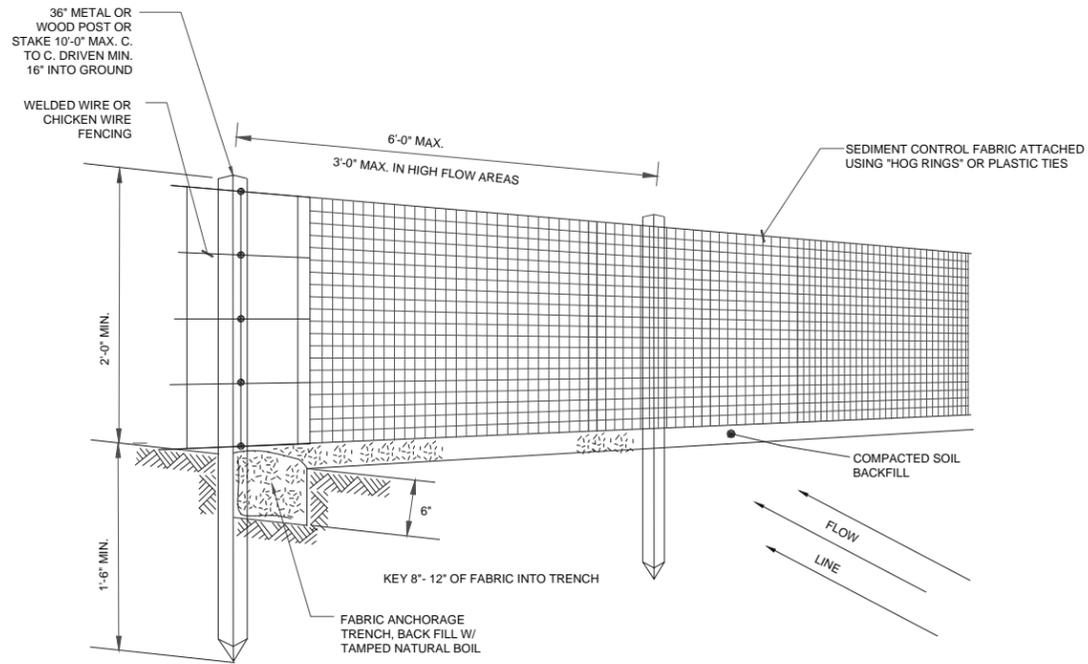


Ghazwan M. Sadat

LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

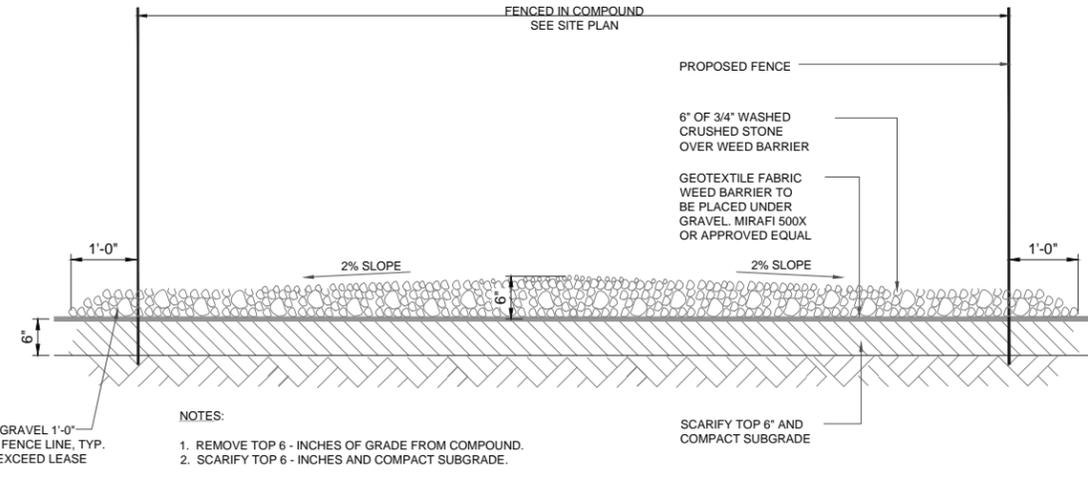
SHEET TITLE:
**ICE BRIDGE & GPS
ANTENNA DETAILS**

SHEET NUMBER:
A-5

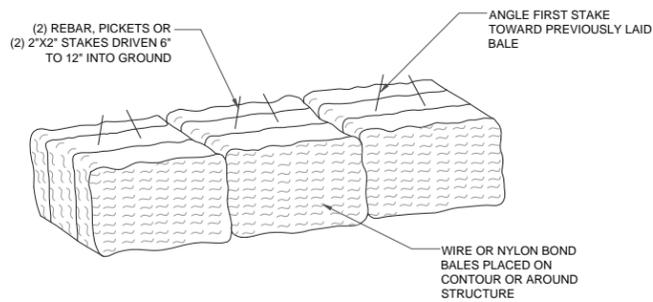


1 SOIL EROSION CONTROL
SCALE: N.T.S.

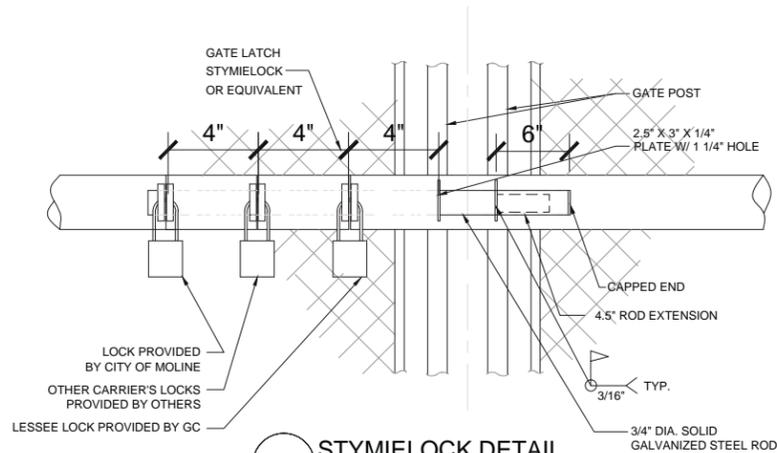
GENERAL CONTRACTOR SHALL PROVIDE AT HIS/HER OWN EXPENSE ANY AND ALL SOIL EROSION CONTROL MEASURES/FENCING AROUND ALL AREAS THAT HAVE A GRADE IN EXCESS OF 5% OR WHERE THERE IS POTENTIAL FOR SOIL EROSION AND SOIL RUN-OFF DURING THE CONSTRUCTION PHASE OF THE PROJECT



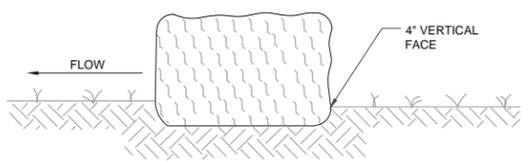
2 SITE COMPOUND GRAVEL DETAIL
SCALE: N.T.S.



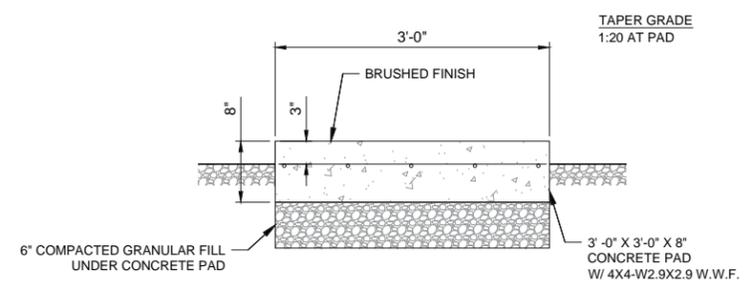
3 ANCHORING DETAIL
SCALE: N.T.S.



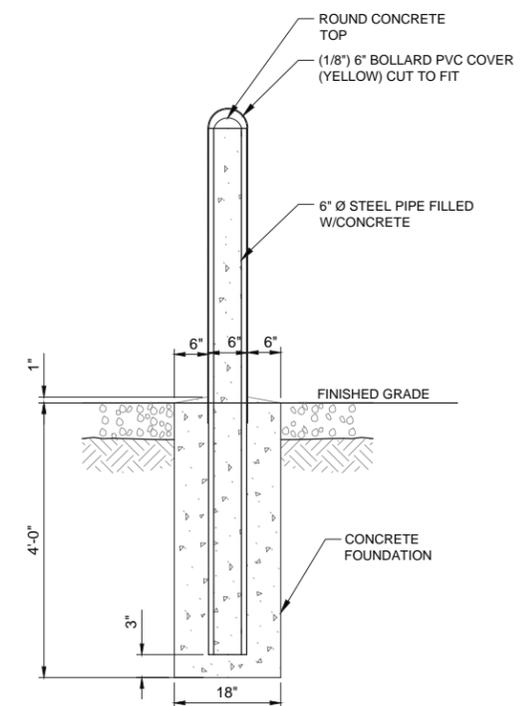
4 STYMILOCK DETAIL
SCALE: N.T.S.



5 EMBEDDING DETAIL
SCALE: N.T.S.



6 GAS METER CONCRETE PAD (36\"/>



7 NEW BOLLARD DETAIL
SCALE: N.T.S.

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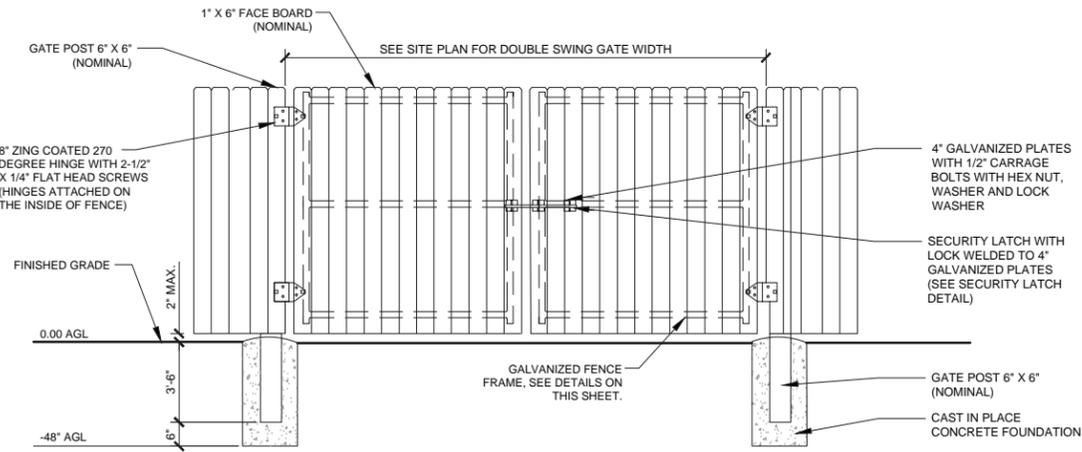
DRAWN BY: NC CHECKED BY: PS
CHECKED BY: RH APPROVED BY: GMS

GHAZWAN M. SADAT
062-061844
LICENSED PROFESSIONAL ENGINEER OF ILLINOIS
G.M. Sadat

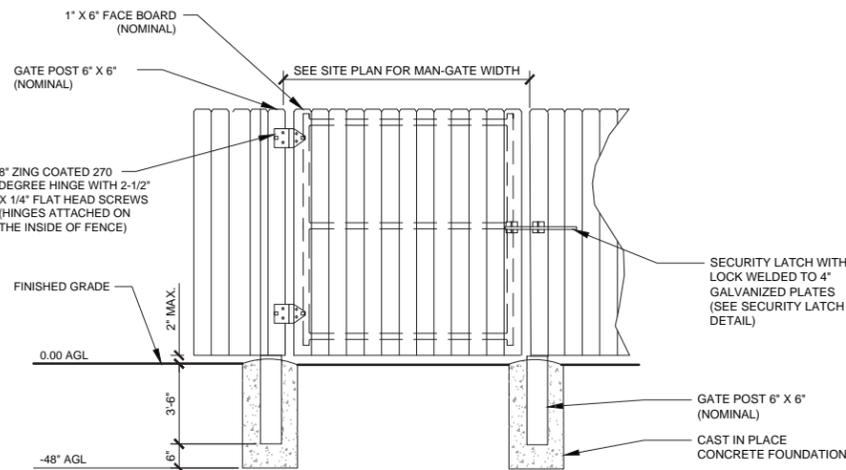
LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
DETAILS

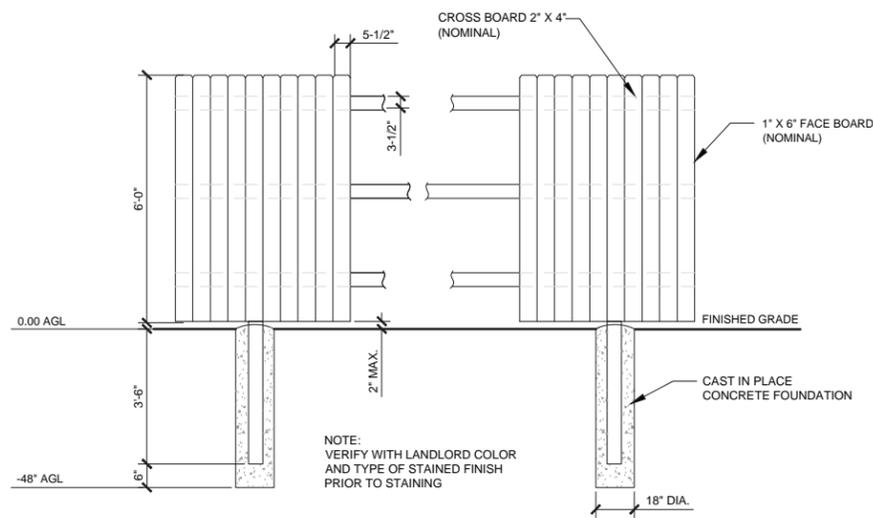
SHEET NUMBER:
A-5A



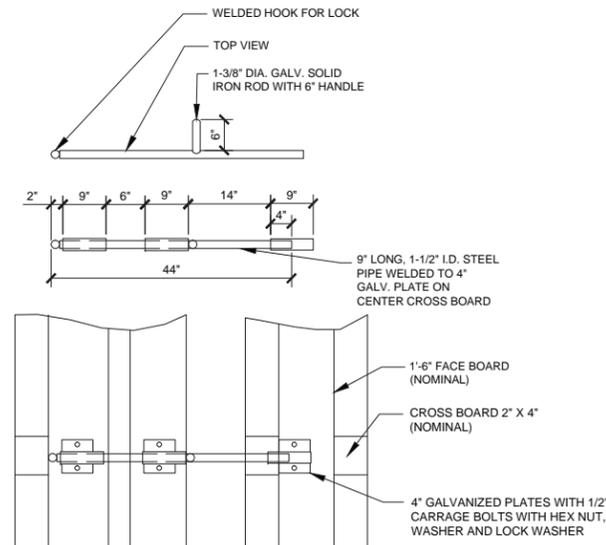
1A FENCE DOUBLE SWING GATE
SCALE: N.T.S.



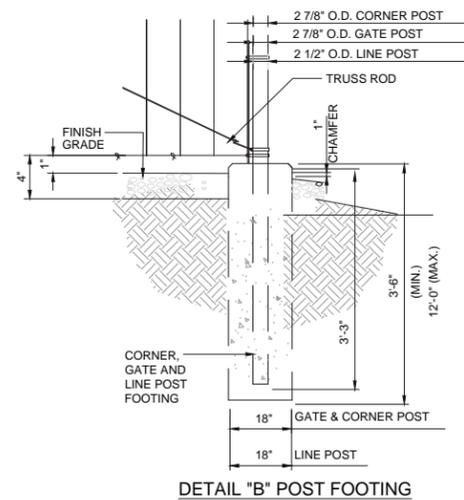
1B FENCE MAN-GATE ELEVATION
SCALE: N.T.S.



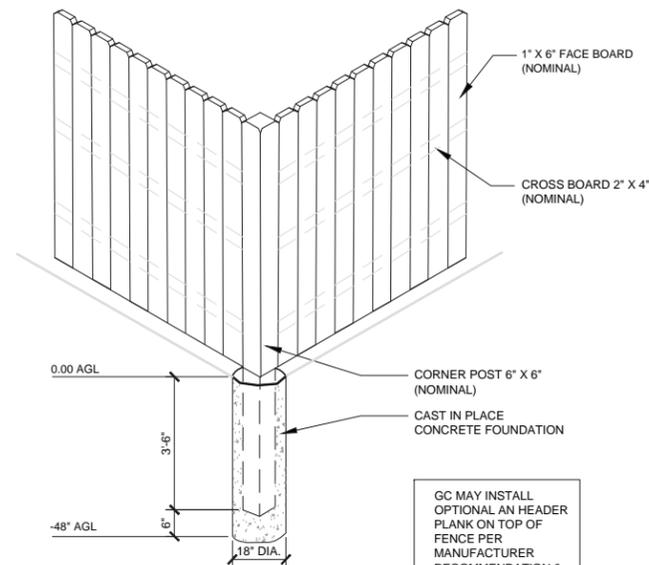
2 FENCE SECTION DETAIL
SCALE: N.T.S.



3 SECURITY LATCH DETAIL
SCALE: N.T.S.



DETAIL "B" POST FOOTING



4 CORNER DETAIL
SCALE: N.T.S.

- SOLID WOOD FENCE STYLE NOTES & GENERAL SPECIFICATIONS:**
- ALL POSTS AND RAILS SHALL BE ROUGH SAWN OF "NO. 1 STRUCTURAL" GRADE, PRESSURE TREATED WITH A WOOD PRESERVATIVE NON-TOXIC TO SURROUNDING PLANT MATERIAL, IN ACCORDANCE WITH CSA STANDARD 080.2 AND COMPATIBLE WITH STAINING REQUIREMENTS BELOW. STAIN TO MATCH FENCE BOARDS.
 - ALL FENCE BOARDS AND PLANKS SHALL BE ROUGH SAWN OF "QUALITY FENCING" GRADE, FINISHED WITH PENETRATING STAIN WITH PRESERVATIVE, CONFORMING TO CGSB STANDARDS 1-GP145M AND 204M, APPLIED TO ALL SURFACES PRIOR TO INSTALLATION AND ON ANY CUTS THEREAFTER.
 - LINE POSTS SHALL BE MINIMUM 8.0 FT. IN LENGTH AND AT LEAST (STANDARD) 4" X 4".
 - CORNER POSTS SHALL BE MINIMUM 8.0 FT. IN LENGTH AND AT LEAST (STANDARD) 6" X 6".
 - FENCE RAILS (MIN. 3) SHALL BE MAXIMUM 7.5 FT. IN LENGTH AND AT LEAST (STANDARD) 2" X 4".
 - CAP RAILS SHALL BE AT LEAST (STANDARD) 2" X 6". CANT TO DRAIN.
 - THE FINISHED HEIGHT OF OPAQUE FENCING SHALL BE AT LEAST 6.0 FT.
 - ALL NAILS USED IN FENCE CONSTRUCTION SHALL MEET THE FOLLOWING SPECIFICATIONS:
 - MINIMUM GAUGE OF NAILS USED - #9, COMMON IN POST/RAIL CONNECTIONS
 - MINIMUM GAUGE OF NAILS USED - #11.5, COMMON IN RAIL/FENCE BOARD CONNECTIONS
 - GALVANIZED - CSA G164
 - LINE POSTS SHALL BE PLACED NO MORE THAN 8.0 FT. O.C. AND BE FIRMLY ANCHORED IN THE SOIL TO A DEPTH OF NOT LESS THAN 2.0 FT.
 - THE FENCE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE SPECIFICATIONS AND DETAILS PROVIDED IN THESE DRAWINGS WHICH FORMS PART OF THESE SPECIFICATIONS.

**GTE WIRELESS
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361 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
MAIN: (847) 981-0801

DRAWN BY: NC CHECKED BY: PS
CHECKED BY: RH APPROVED BY: GMS



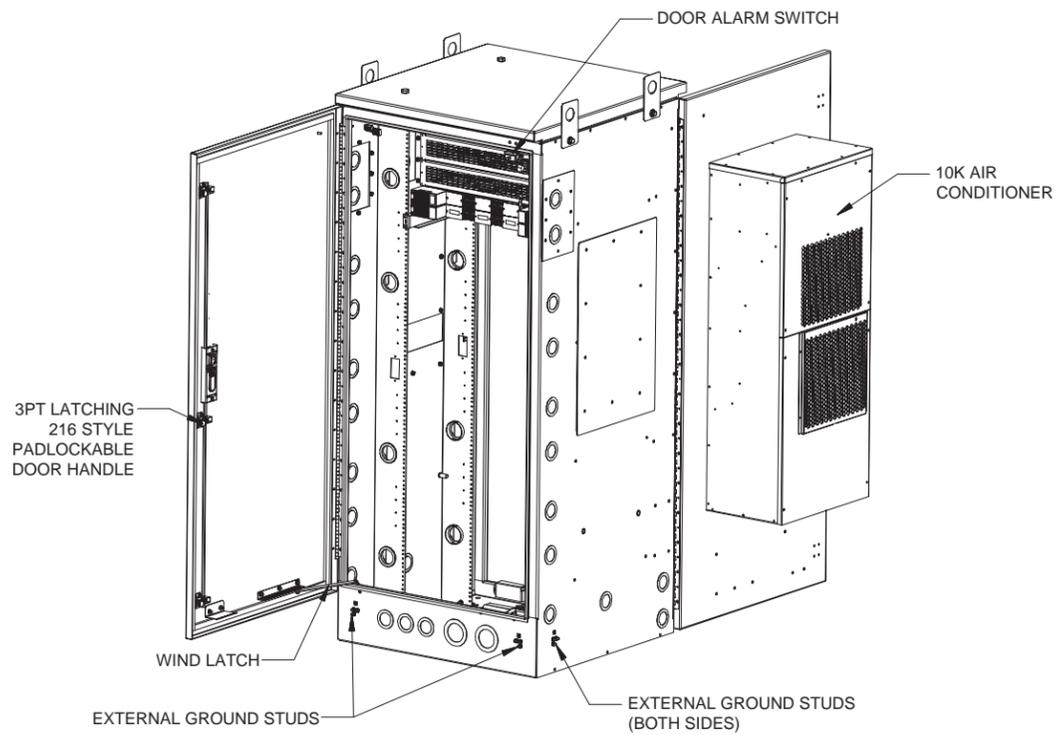
Ghazwan M. Sadat

LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

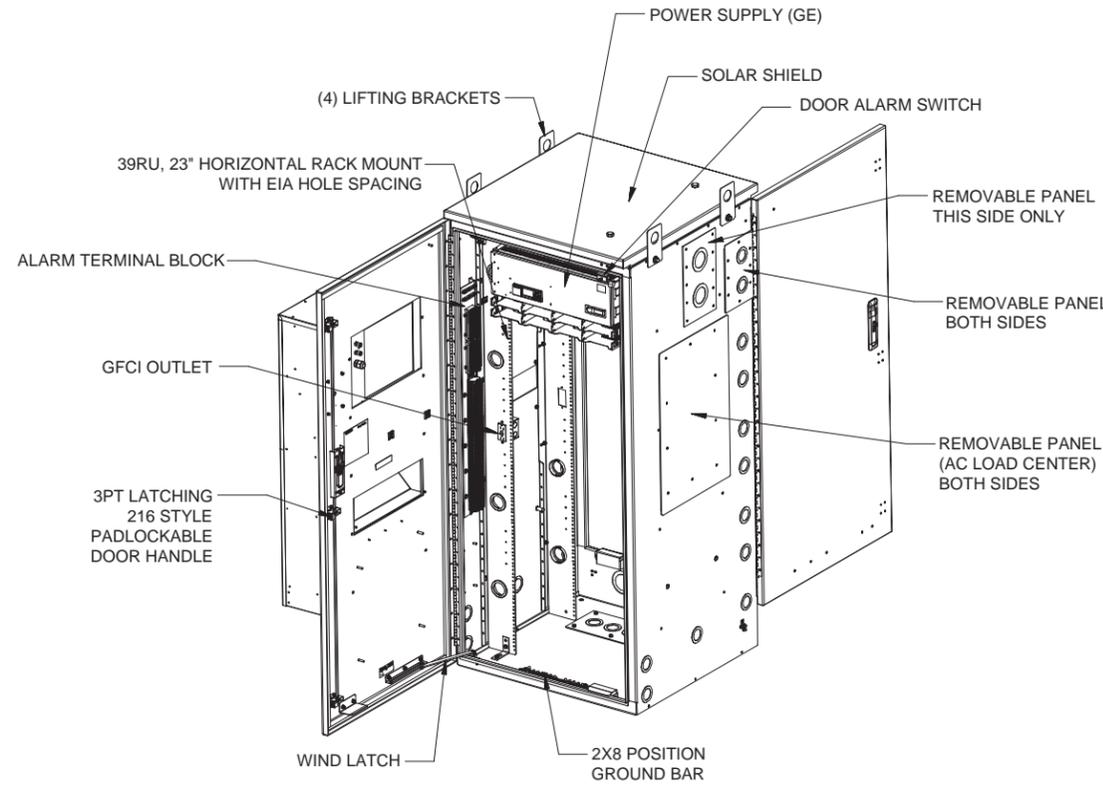
SHEET TITLE:
NEW FENCE DETAILS

SHEET NUMBER:
A-5B

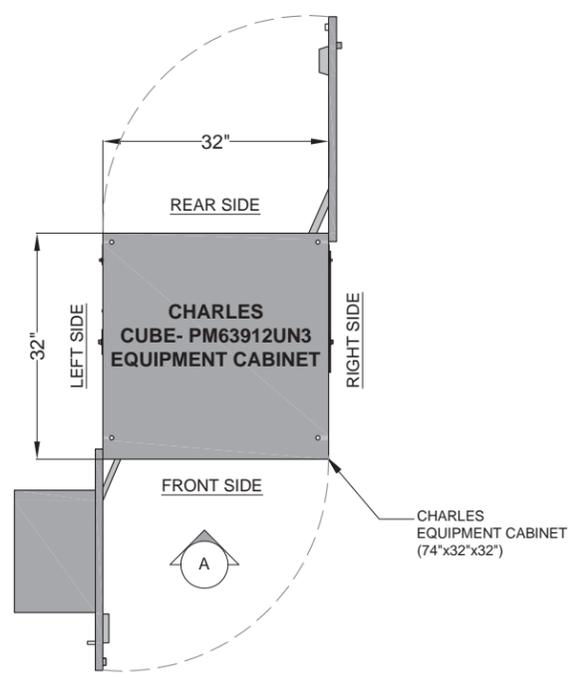
GC MAY INSTALL
OPTIONAL AN HEADER
PLANK ON TOP OF
FENCE PER
MANUFACTURER
RECOMMENDATION &
DESIGN



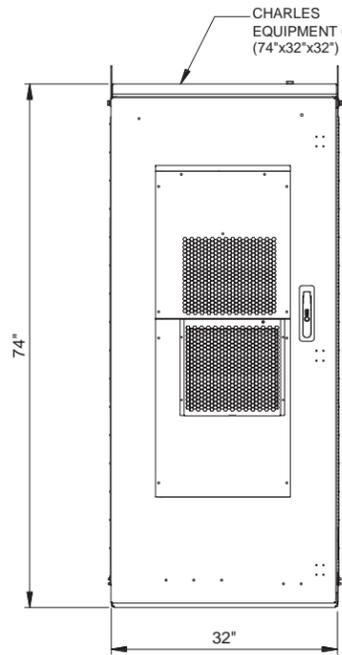
1 CHARLES CUBE (PM63912UN3)- FRONT VIEW
N.T.S



2 CHARLES CUBE (PM63912UN3)- REAR VIEW
N.T.S



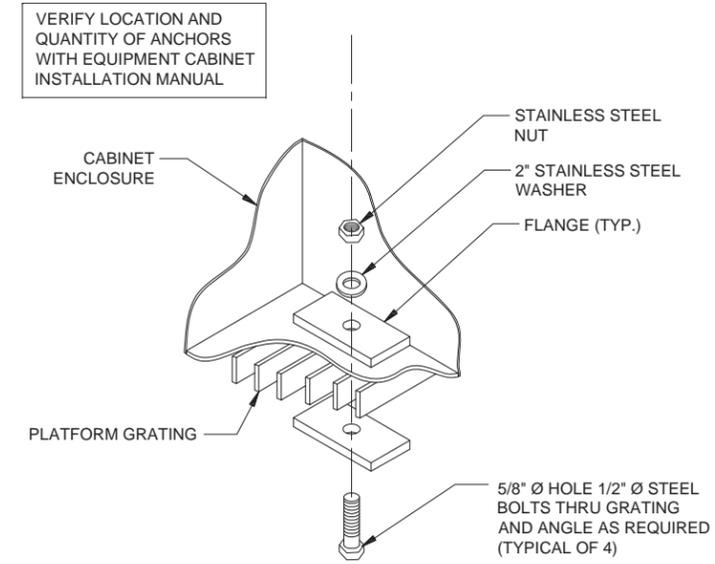
3 CHARLES CUBE (PM63912UN3)- PLAN VIEW
N.T.S



CABINET ELEVATION A

Category	
Dimensions and weight	74H x 32W x 32D 535 lbs. as shipped
23 Front and Rear Equipment Rack Space and Hole Spacing	68 (39RU)EIA spacing with tapped 12-24 mounting holes
Color	Off-White
Material	.125Welded Aluminum
Maximum Heat Dissipation	2900W
10000 BTU Air Conditioner with 2000W heater	Dantherm #1A/CT-B1000
Electrical outlet	One GFCI outlet
-48VDC power system with controller	GE infinity S: NES4824-23-AC5-PS8-DC1E
Bonding and Grounding	(4) 2x8-position Ground Bars
Cable Entrance	REFER TO DETAIL BELOW
Operating Temp. Range, Inside Enclosure	-40° to +149°F, 40° to 65°C
Operating Temp. Range, Outside Enclosure	-40° to +115°F, 40° to 46°C
Humidity	0 to 95% (non-condensing)
Altitude	Up to 2,000 meters (6560')

4 CHARLES CUBE (PM63912UN3) SPECIFICATIONS
N.T.S



5 TYPICAL CABINET MOUNTING DETAIL
N.T.S

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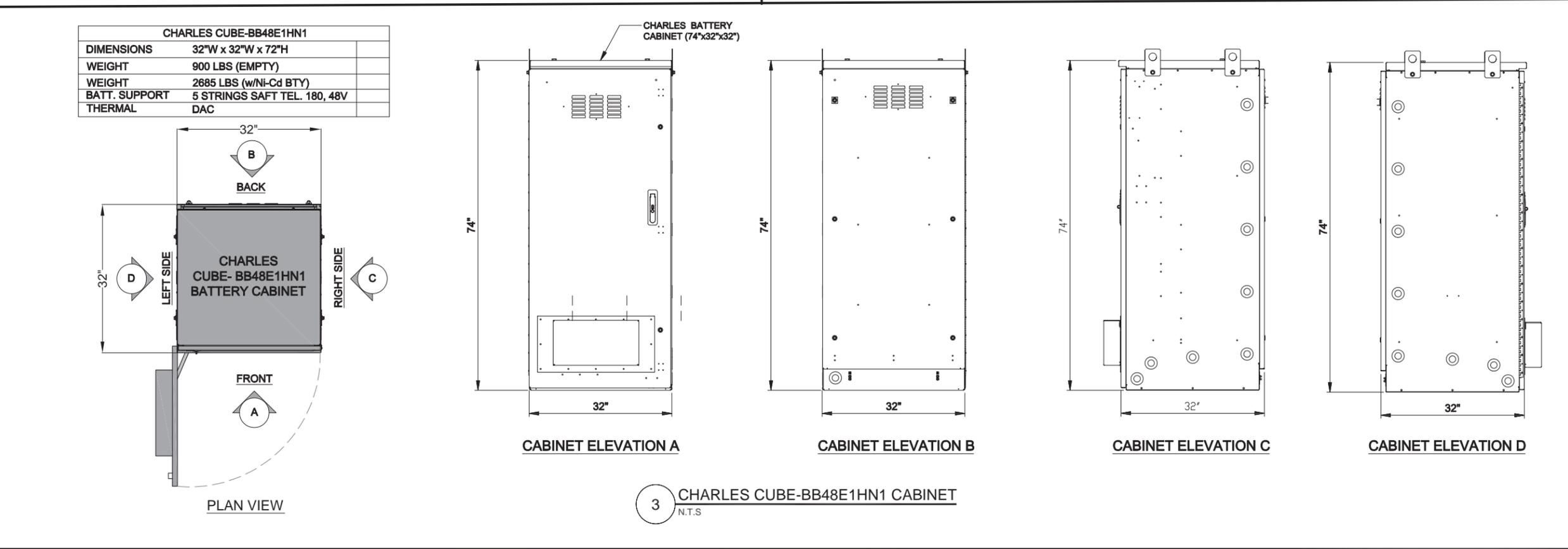
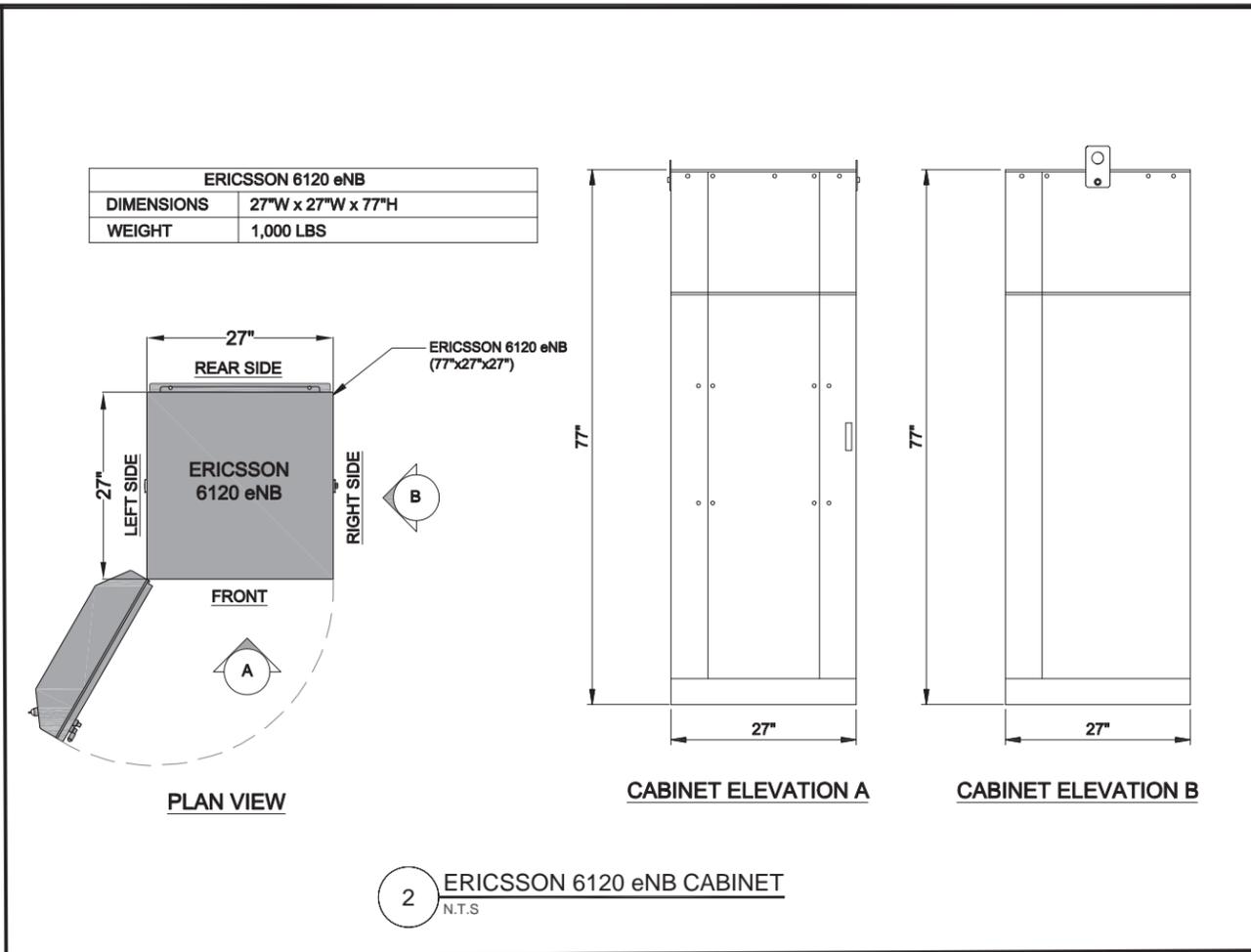
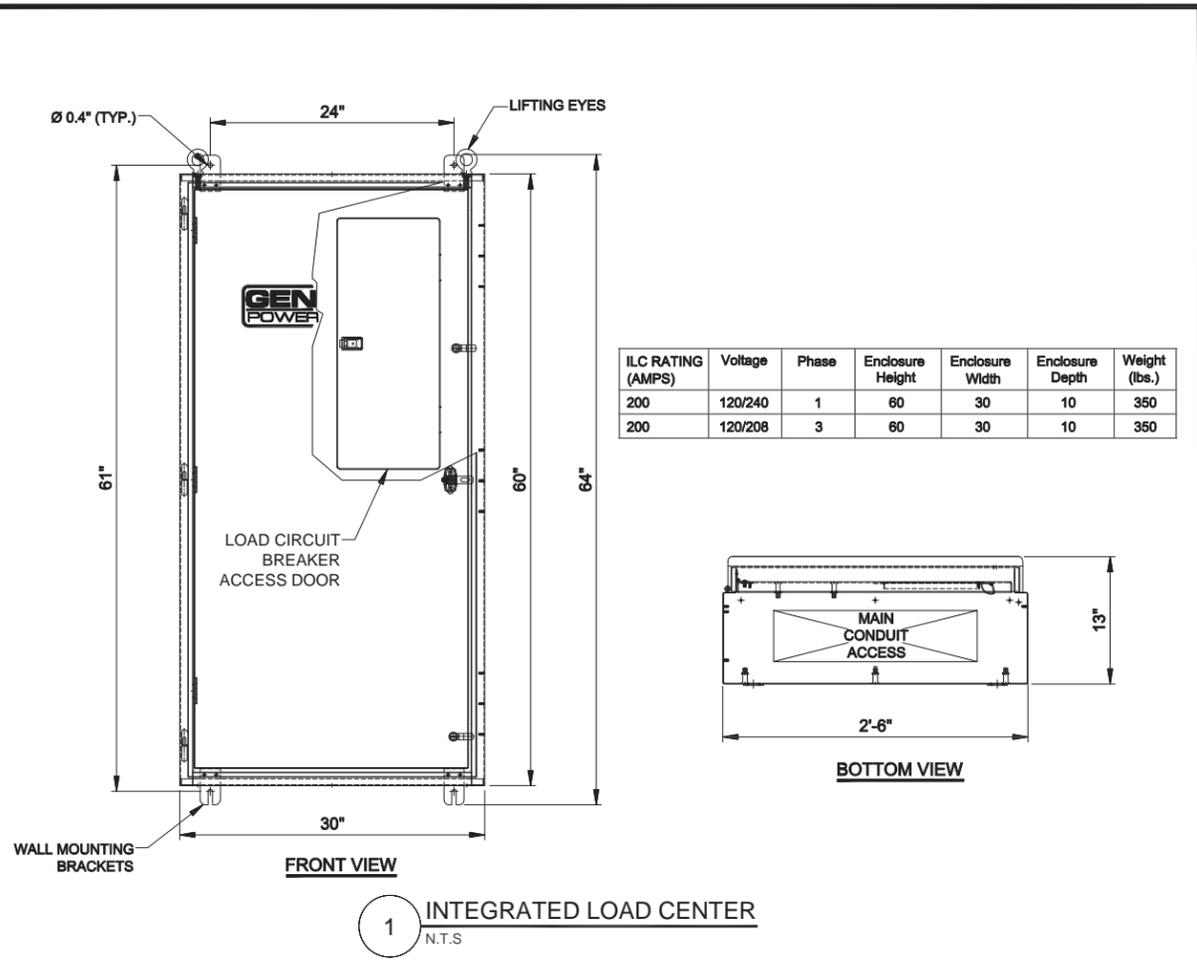
DRAWN BY: NC CHECKED BY: PS
CHECKED BY: RH APPROVED BY: GMS

GHAZWAN M. SADAT
062-061844
LICENSED PROFESSIONAL ENGINEER OF ILLINOIS
G.M. Sadat

LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
EQUIPMENT CABINET SPECIFICATIONS

SHEET NUMBER:
A-6



**GTE WIRELESS
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CONCORDIA WIRELESS, INC.
 361 RANDY ROAD
 UNIT 101
 CAROL STREAM, IL 60188
 MAIN: (847) 981-0801

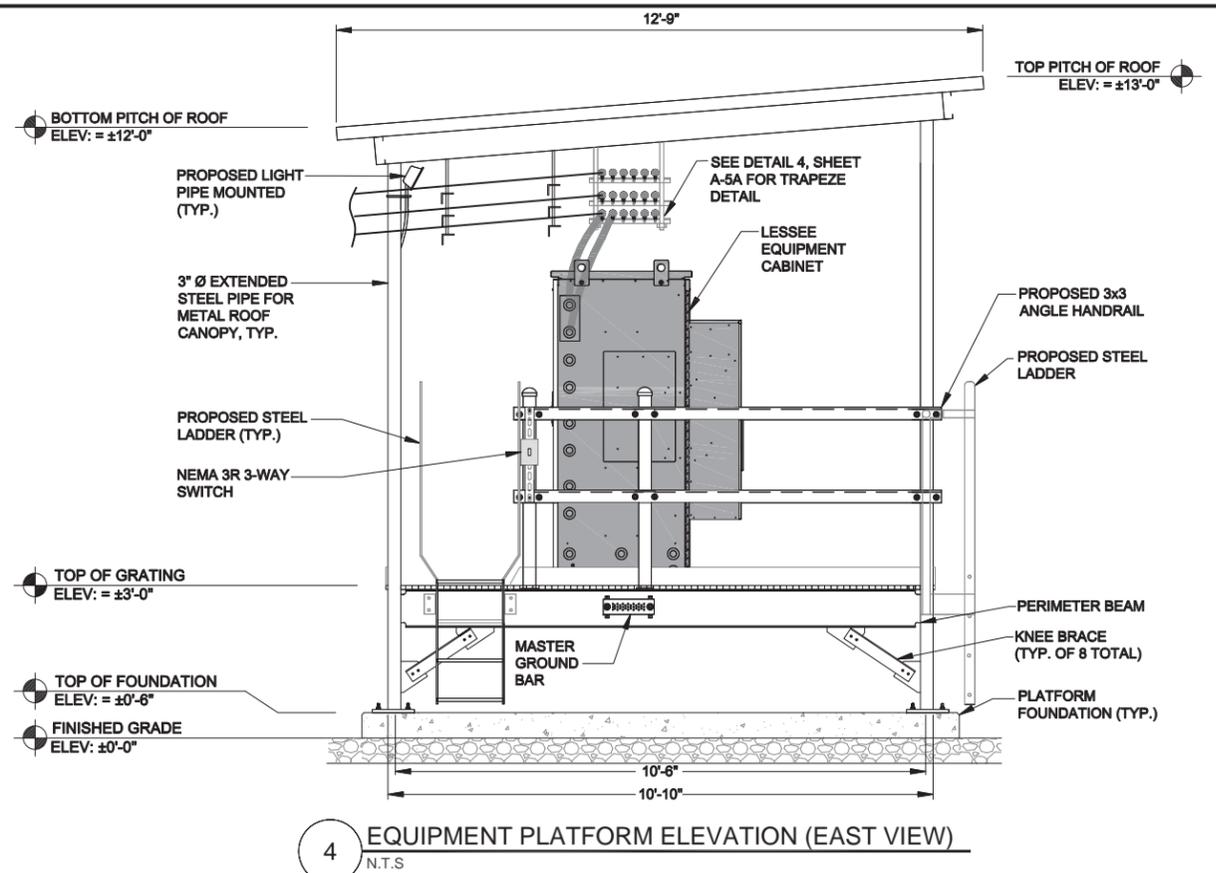
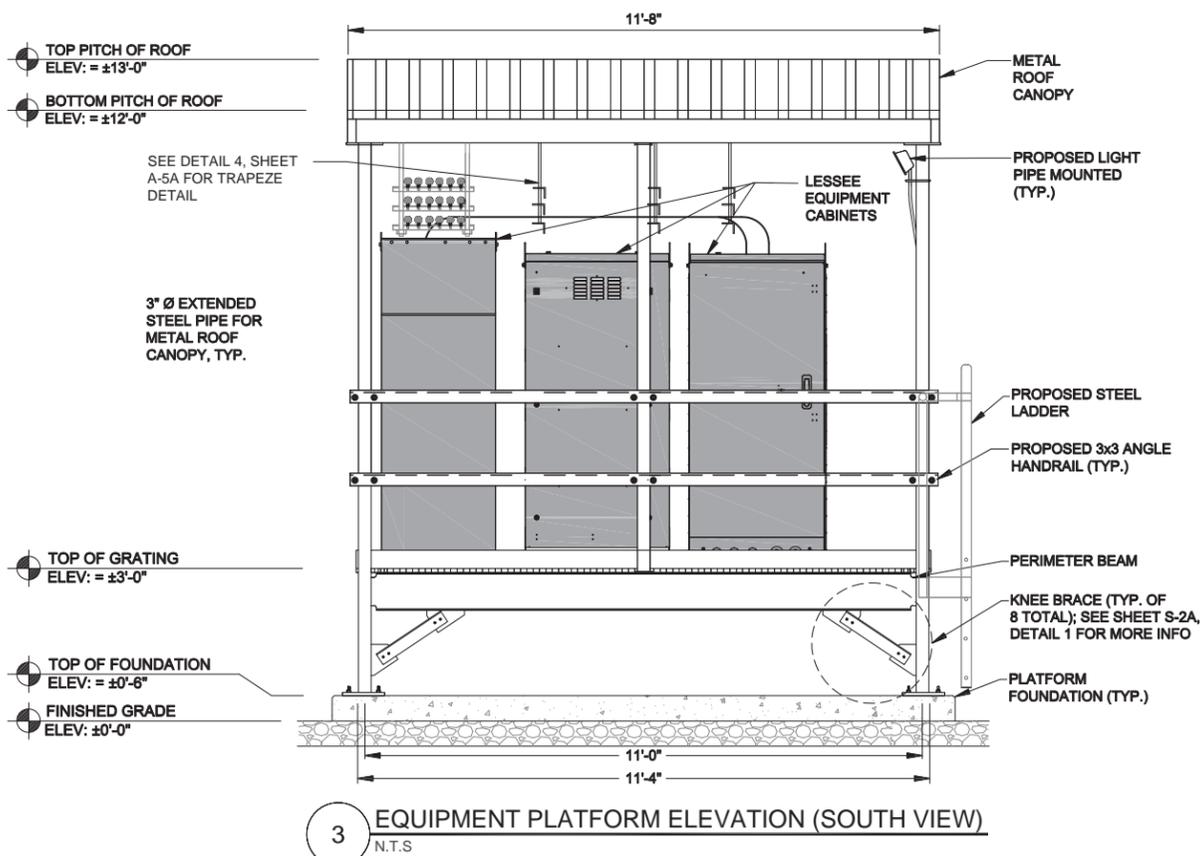
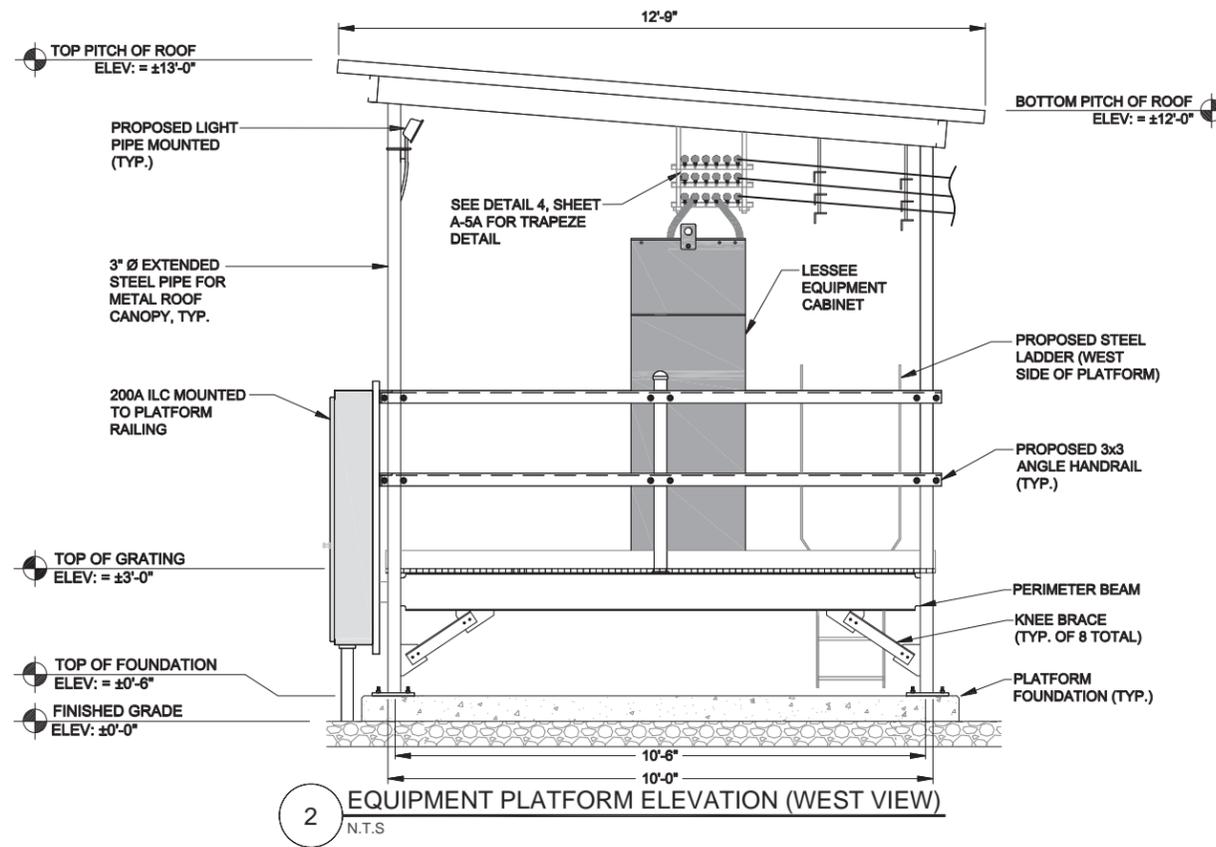
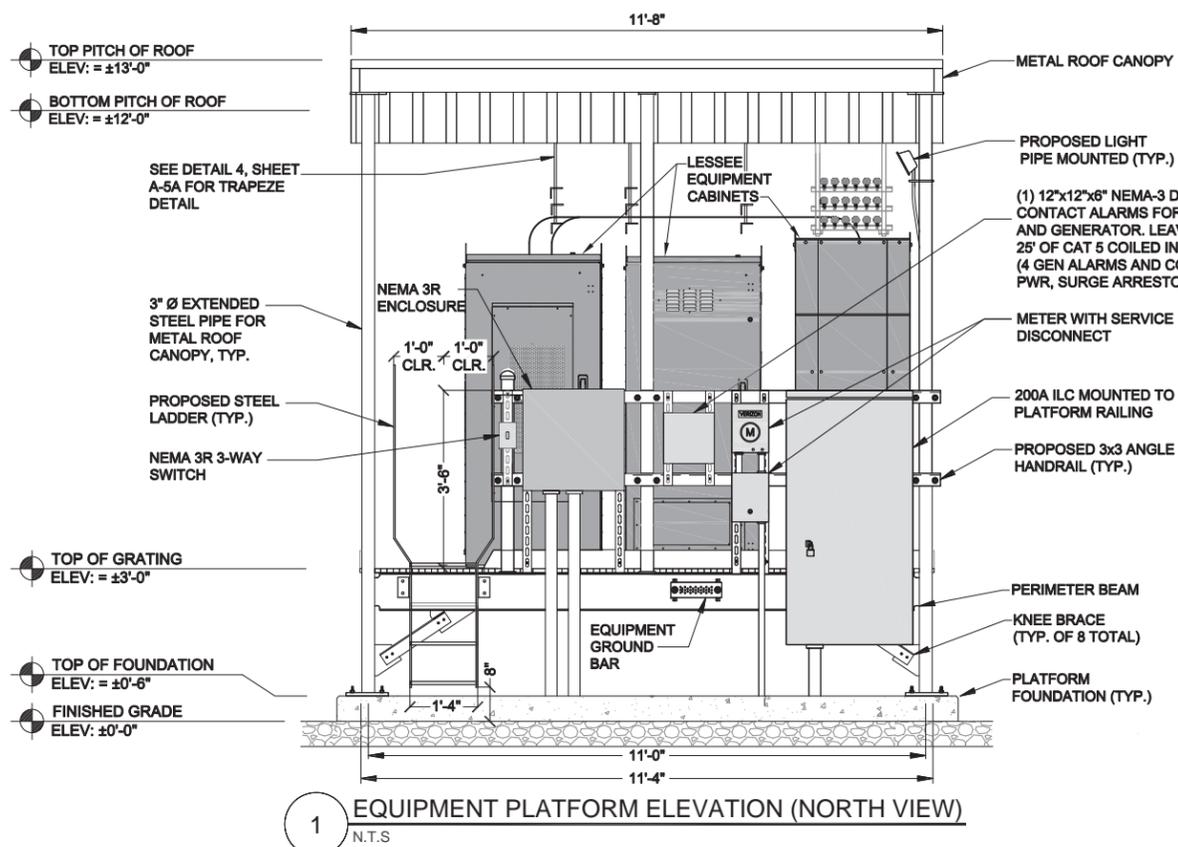
DRAWN BY: NC CHECKED BY: PS
 CHECKED BY: RH APPROVED BY: GMS

GHAZWAN M. SADAT
 062-061844
 LICENSED PROFESSIONAL ENGINEER OF ILLINOIS
G. Sadat

LOCATION # 288442
 STEPHENS PARK
 531 15TH AVE
 MOLINE, IL 61265

SHEET TITLE:
EQUIPMENT CABINET SPECIFICATIONS

SHEET NUMBER:
A-6A



**GTE WIRELESS
MIDWEST, INC.**
d/b/a VERIZON WIRELESS

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361 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
MAIN: (847) 981-0801

DRAWN BY: NC CHECKED BY: PS
CHECKED BY: RH APPROVED BY: GMS



Ghazwan M. Sadat

LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
PLATFORM ELEVATIONS

SHEET NUMBER:
A-6B

**CLEANING AND PAINTING INSTRUCTIONS
500M GALLON WSD 83.5' BCL
MOLINE, IL
CB&I WATER CONTRACT 139287**

1.0 SPECIFICATION

All materials, workmanship, surface preparation and painting shall be in accordance with AWWA D102-latest edition, SSPC PA1-latest revision, paint manufacturer's specifications, these instructions and the requirements and intent of the applicable section of the Contract Specifications. Information in these instructions may modify and take precedent over any of the above.

Contract Specifications prepared by:	Field Painting contractor:
McCLURE ENGINEERING ASSOC., INC. 4700 KENNEDY DRIVE MOLINE, IL 61265 Ali Gharamti (309-792-9350)	CB&I WATER FIELD PAINTING DIVISION 1505 N. DIVISION STREET PLAINFIELD, IL 60544 Dave Hartman (815-439-3100)

2.0 SHOP CLEANING AND PAINTING

2.1 SHOP CLEANING

All surfaces to be painted shall be cleaned, as required to remove all mud, dirt, oil, grease and foreign materials and abrasive blasted as follows:

Interior "wet" surfaces – Near White Blast per SSPC-SP10
Interior "dry" surfaces – Commercial Blast per SSPC-SP6
Exterior surfaces – Commercial Blast per SSPC-SP6

All surfaces abrasive blast cleaned shall be painted within the same day and before any evidence of rust or discoloration

2.2 SHOP PAINTING

2.2.1 Interior "Wet" Surfaces

One prime coat of Tnemec Pota-Pox Plus N140 or N140F-1255 (Beige)
Dry film thickness: 4.0 – 5.0 mils
Suggested wet film thickness: 6.0 – 7.9 mils.

2.2.2 Interior "Dry" Surfaces

One prime coat of Tnemec Pota-Pox Plus N140 or N140F-1255 (Beige)
Dry film thickness: 4.0 – 5.0 mils
Suggested wet film thickness: 6.0 – 7.9 mils.

2.2.3 Exterior Surfaces

One prime coat of Tnemec Pota-Pox Plus N140 or N140F-1255 (Beige)
Dry film thickness: 4.0 – 5.0 mils
Suggested wet film thickness: 6.0 – 7.9 mils.

Note: A four (4) inch unpainted margin shall be left at all edges to be field welded.

See attached Tnemec Product Data Sheets for information and instruction on mixing, thinning, environment, application and dry times. Particular attention is called to the Product Data Sheet thinning restrictions necessary to meet ANSI/SNF Standard 61 requirements (for the interior wet system). Suggested wet film thickness shown above is based on unthinned paint.

3.0 FIELD CLEANING AND PAINTING

3.1 FIELD CLEANING

All surfaces shall be cleaned, as required to remove all weld spatter, mud, dirt, oil, grease. Weld seams, unpainted shop margins and primer abrasions shall be spot blasted as follows:

Interior "wet" surfaces – Near White Blast per SSPC-SP10
Interior "dry" surfaces – Commercial Blast per SSPC-SP6
Exterior surfaces – Commercial Blast per SSPC-SP6

All surfaces abrasive blast cleaned shall be painted within the same day and before any evidence of rust or discoloration

3.2 FIELD PAINTING

3.2.1 Interior "Wet" Surfaces

One spot coat of Tnemec Pota-Pox 20 or FC20-1255 (Beige)
Dry film thickness: 4.0 – 5.0 mils
Suggested wet film thickness: 7.0 – 8.8 mils.

One full coat of Tnemec Pota-Pox 20 or FC20-15BL (Tank White)
Dry film thickness: 5.0 – 6.0 mils
Suggested wet film thickness: 8.8 – 10.7 mils.

Total dry film thickness: 9.0 – 11.0 mils.

3.2.2 Interior "Dry" Surfaces

One spot coat of Tnemec Pota-Pox 20 or FC20-1255 (Beige)
Dry film thickness: 4.0 – 5.0 mils
Suggested wet film thickness: 5.4 – 8.9 mils.

One full coat of Tnemec Pota-Pox 20 or FC20-15BL (Tank White)
Dry film thickness: 5.0 – 6.0 mils
Suggested wet film thickness: 8.9 – 10.7 mils.

Total dry film thickness: 9.0 – 11.0 mils.

3.2.3 Exterior System

One spot coat of Tnemec Pota-Pox 20 or FC20-1255 (Beige)
Dry film thickness: 4.0 – 5.0 mils
Suggested wet film thickness: 5.4 – 8.9 mils.

One full coat of Tnemec Epoxoline Series 66 or 161 (color 10% lighter than finish color)
Dry film thickness: 2.0 – 3.0 mils
Suggested wet film thickness: 3.5 – 5.3 mils.

One full coat of Tnemec Endura-Shield Series 73 (color selection by Owner)
Dry film thickness: 2.0 – 3.0 mils
Suggested wet film thickness: 3.5 – 5.3 mils.

One full coat of Tnemec Endura-Clear Series 76
Dry film thickness: 1.0 – 2.0
Suggested wet film thickness: 1.5 – 3.0 mils.

Total dry film thickness: 9.0 – 12.0 mils.

Note: Shop primed surfaces shall be cleaned of grease, oily material and other foreign matter.

See attached Tnemec Product Data Sheets for information and instruction on mixing, thinning, environment, application and dry times. Particular attention is called to the Product Data Sheet thinning restrictions necessary to meet ANSI/SNF Standard 61 requirements (for the interior wet system). Suggested wet film thickness shown above is based on unthinned paint.

For non-immersion stainless steel, aluminum, and galvanized surfaces, no additional surface preparation or coating is required. For stainless steel, aluminum and galvanized surfaces in immersion, surface preparation shall be in accordance with paint manufacturer recommendations, and the interior wet coating system shall be applied.

1 PAINT SPECIFICATION

**GTE WIRELESS
MIDWEST, INC.**

d/b/a VERIZON WIRELESS

CONCORDIA, LTD
A PROFESSIONAL DESIGN FIRM
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CONCORDIA WIRELESS, INC.
361 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
MAIN: (847) 981-0801

DRAWN BY: NC	CHECKED BY: PS
CHECKED BY: RH	APPROVED BY: GMS

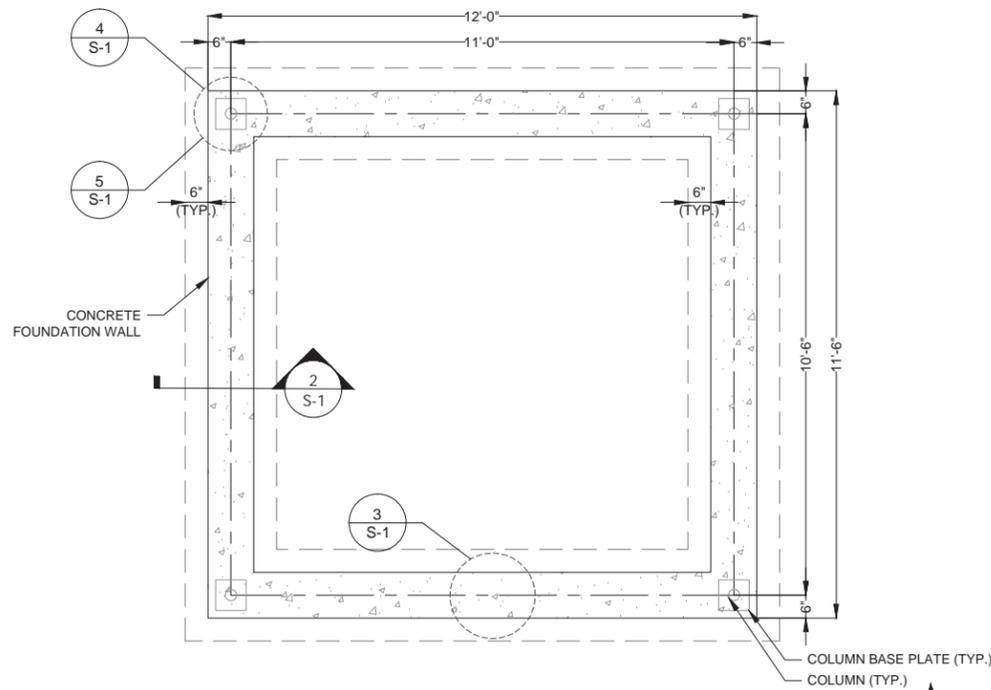


Ghazwan M. Sadat

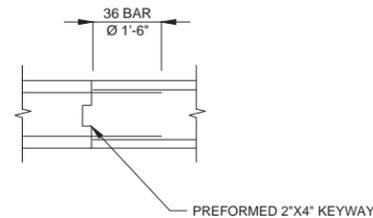
LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
PAINT SPECIFICATION

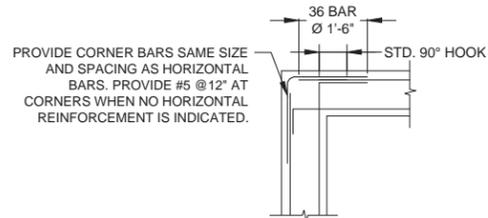
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PS-1



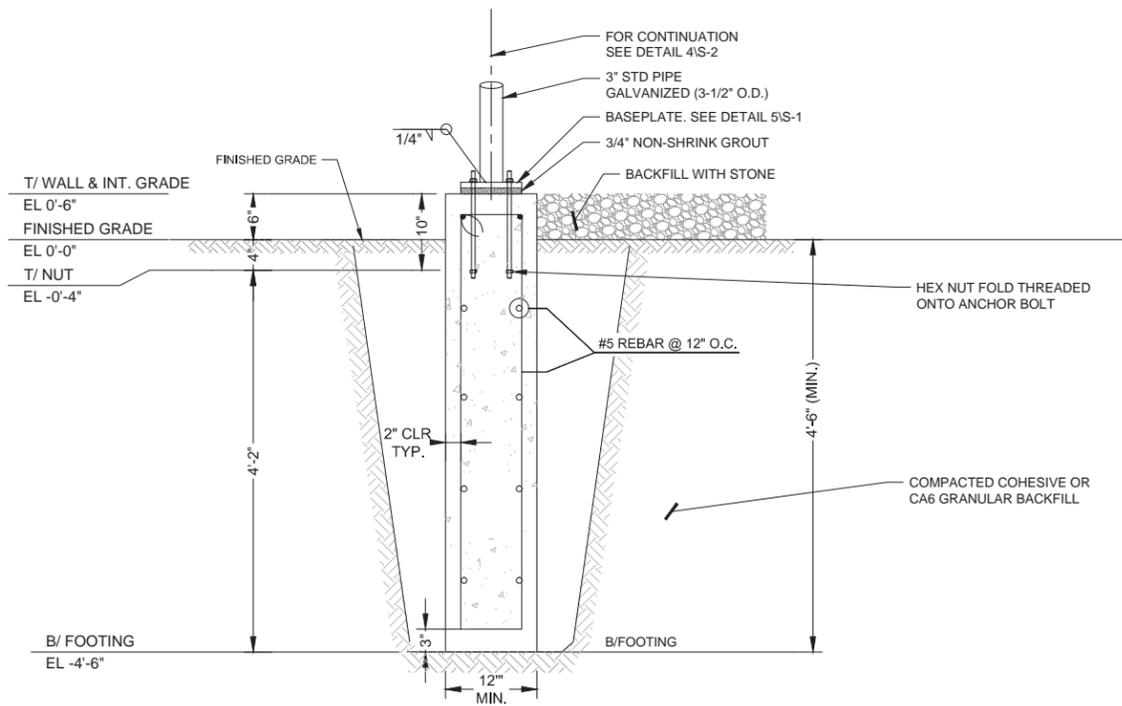
1 EQUIPMENT PLATFORM FOUNDATION PLAN
SCALE: 1/2"=1'-0" (1/2"=2'-0" IF 11X17 SHEET SIZE)



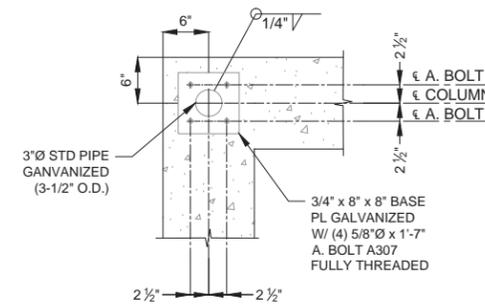
3 CONSTRUCTION JOINT
SCALE: 1/2"=1'-0" (1/2"=2'-0" IF 11X17 SHEET SIZE)



4 CORNER (TYP.)
SCALE: 1/2"=1'-0" (1/2"=2'-0" IF 11X17 SHEET SIZE)



2 FOUNDATION WALL SECTION
SCALE: 1"=1'-0" (1"=2'-0" IF 11X17 SHEET SIZE)



5 PLATFORM COLUMN BASE PLATE DETAILS
SCALE: 1/2"=1'-0" (1/2"=2'-0" IF 11X17 SHEET SIZE)

SOIL BEARING CAPACITY PER
GEOTECHNICAL REPORT
(BY GEOSERVICE 03/02/15)

DEPTH RANGE (FT)	WET UNIT WEIGHT (PCF)	ALLOWABLE BEARING PRESSURE (PSF)
0-3	115	N/A
3-12.5	115	2,000

NOTES

A. EQUIPMENT ENCLOSURE FOUNDATION

- STEEL EQUIPMENT PLATFORM FOUNDATION IS DESIGNED FOR THE FOLLOWING LOADS:
DEAD LOAD: 28,000 LBS.
SNOW LOAD: 35 PSF
FLOOR LIVE LOAD: 150 PSF
- THE CONTRACTOR SHALL NOTIFY THE CLIENT'S GEOTECHNICAL ENGINEER TO COORDINATE HAVING A FIELD REPRESENTATIVE ON SITE FOR TESTING AND INSPECTION.
- FOOTINGS SHALL BEAR ON VIRGIN SOIL OR COMPACTED FILL MATERIAL CAPABLE OF SUPPORTING A MINIMUM SOIL BEARING PRESSURE OF 2,000 PSF.
- SUBGRADE PREPARATION:
 - REMOVE ALL SOILS CONTAINING TOPSOIL: ORGANIC MATERIALS, AND/OR FILL MATERIALS FROM WITHIN AREA OF ENCLOSURE FOUNDATION.
 - PROOF ROLL RESULTING SUBGRADE WITH A HEAVILY LOADED SINGLE AXLE ROLLER OR SIMILAR VEHICLE. (20 TON LOAD). CONTRACTOR SHALL UNDERCUT AND REPLACE WITH ENGINEERED FILL. ALL LOOSE SOFT OR UNSTABLE AREAS REVEALED DURING PROOF ROLLING AS DIRECTED BY THE TESTING AGENCY. CONTRACTOR SHALL INCLUDE ANTICIPATED UNDERCUT AND REPLACEMENT AS INDICATED IN THE GEOTECHNICAL REPORT AS PART OF THE BID.
 - BACKFILL AND COMPACT THE AREA WITHIN THE BUILDING FOUNDATION, BETWEEN RESULTANT SUBGRADE AND FOUNDATION WALL WITH APPROVED GRANULAR MATERIAL.
- FOUNDATION WALLS SHALL BE BACKFILLED EVENLY ON EACH SIDE OF THE WALL OR WALLS SHALL BE ADEQUATELY BRACED BY THE CONTRACTOR UNTIL FLOOR SLAB HAS BEEN PLACED AND CURED FOR 72 HOURS MINIMUM.
- ENCLOSURE SHALL NOT BE SET UNTIL FLOOR SLAB HAS BEEN CURED FOR 72 HOURS MINIMUM.
- CONTRACTOR TO ENSURE FOUNDATION / SLAB ARE POURED TO MEET FLATNESS LEVEL TOLERANCES AS INDICATED IN ACI 4.5.6 AND 4.5.7.

B. CONCRETE NOTES:

- ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 318 AND ACI 301, LATEST EDITION. THESE DOCUMENTS SHALL BE AVAILABLE IN THE FIELD OFFICE.
- EXCEPT WHERE OTHERWISE INDICATED, CONCRETE SHALL BE NORMAL WEIGHT AND WITH MINIMUM 28-DAY COMPRESSIVE STRENGTHS OF $F_c=4000$ PSI. ALL EXTERIOR EXPOSED CONCRETE SHALL BE AIR ENTRAINED WITH 6% AIR CONTENT.
- REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- UNLESS NOTED OTHERWISE, ALL SLABS-ON-GRADE SHALL BE REINFORCED WITH (1) LAYER OF 6x6 W2.1xW2.1 W.W.F..
- ALL PERIMETER WALL AND COLUMN FOOTINGS SHALL BEAR A MINIMUM OF 3'-6" BELOW FINISHED GRADES.
- PLACE ALL SLABS ON GRADE WITH AN APPROVED PATTERN AND SEQUENCE OF CONSTRUCTION AND CONTROL JOINTS (MAXIMUM OF 15'-0" O.C.) TO MINIMIZE SHRINKAGE CRACKS.
- CONCRETE MIX DESIGN SHALL BE SUBMITTED TO ARCHITECT / ENGINEER FOR REVIEW.
- ALL FOOTINGS TO BEAR ON MINIMUM NET ALLOWABLE SOIL BEARING CAPACITY OF 3,000 PSF TO BE VERIFIED IN FIELD.

NOTE:

LOCALIZED AREAS OF SOFT OR LOOSE MATERIALS MAY BE ENCOUNTERED AT THE PROPOSED BEARING ELEVATION. THE SOILS MAY REQUIRE COMPACTION USING A PLATE COMPACTOR IN THE FOOTING TRENCH IF FIELD CONDITIONS INDICATE LOOSE GRANULAR SOILS. THE SOILS MAY REQUIRE REMOVAL AND REPLACEMENT WITH AN APPROVED ENGINEERED FILL. FOUNDATION DEPTH AND OVER DIG REQUIREMENTS SHALL BE VERIFIED WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND INCLUDED IN THE BID BEFORE CONSTRUCTION. THE EVALUATION OF THE SUB GRADE AND SELECTION OF FILL MATERIALS SHALL BE MONITORED AND TESTED BY A QUALIFIED REPRESENTATIVE OF THE SOILS ENGINEER.

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CHECKED BY: RH APPROVED BY: GMS

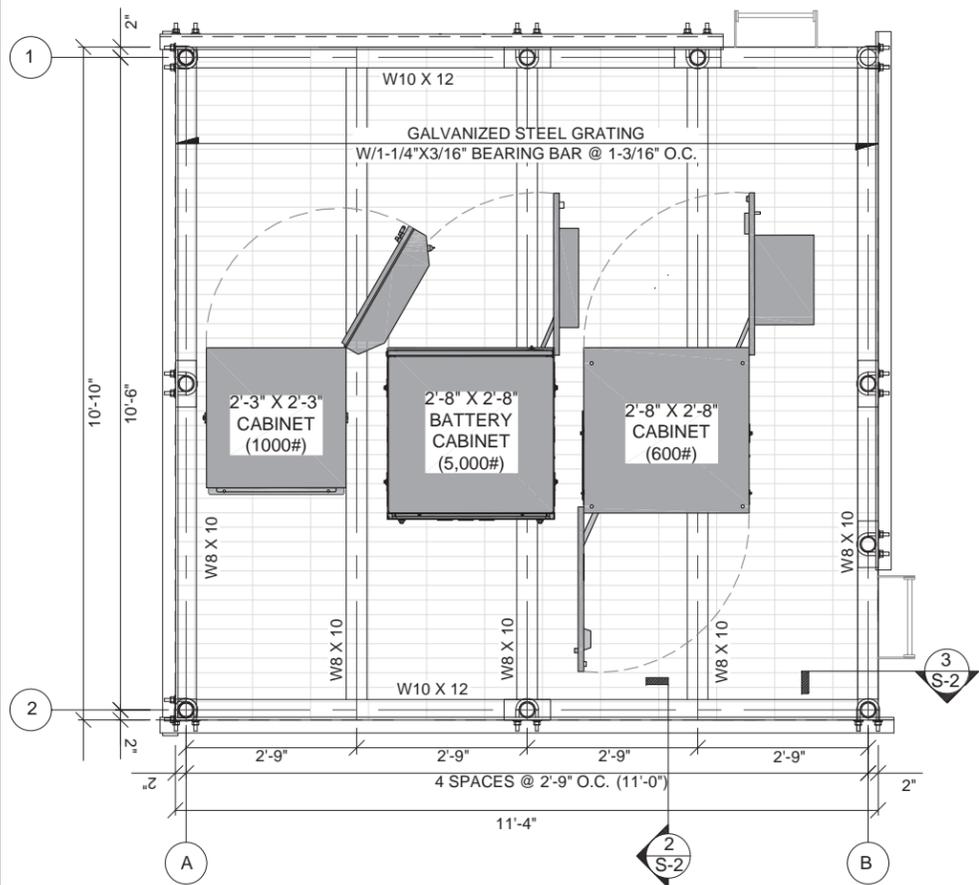


LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
**PLATFORM FOUNDATION
PLAN**

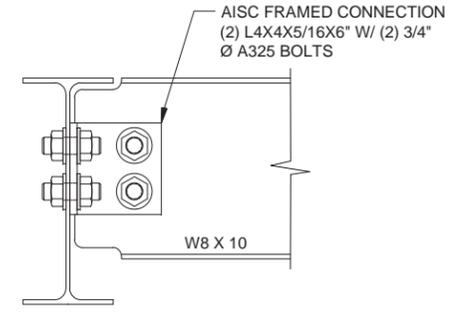
SHEET NUMBER:

S-1

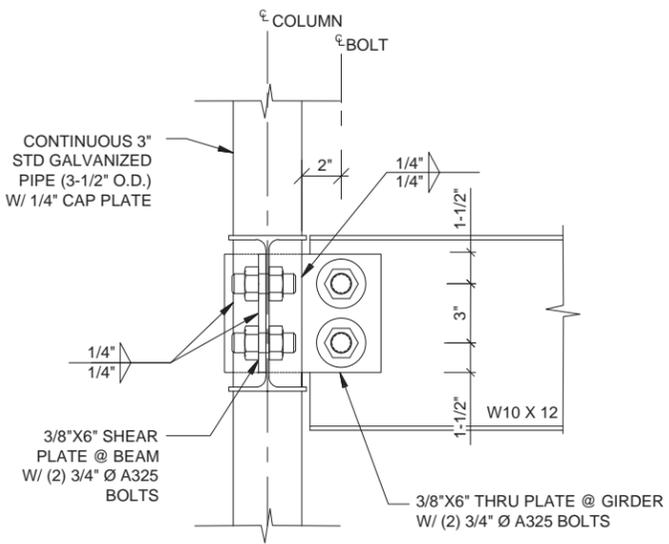


1 ELEVATED STEEL EQUIPMENT PLATFORM - FLOOR FRAMING PLAN
 SCALE: 3/4"=1'-0" (3/4"=2'-0"IF 11X17 SHEET SIZE)

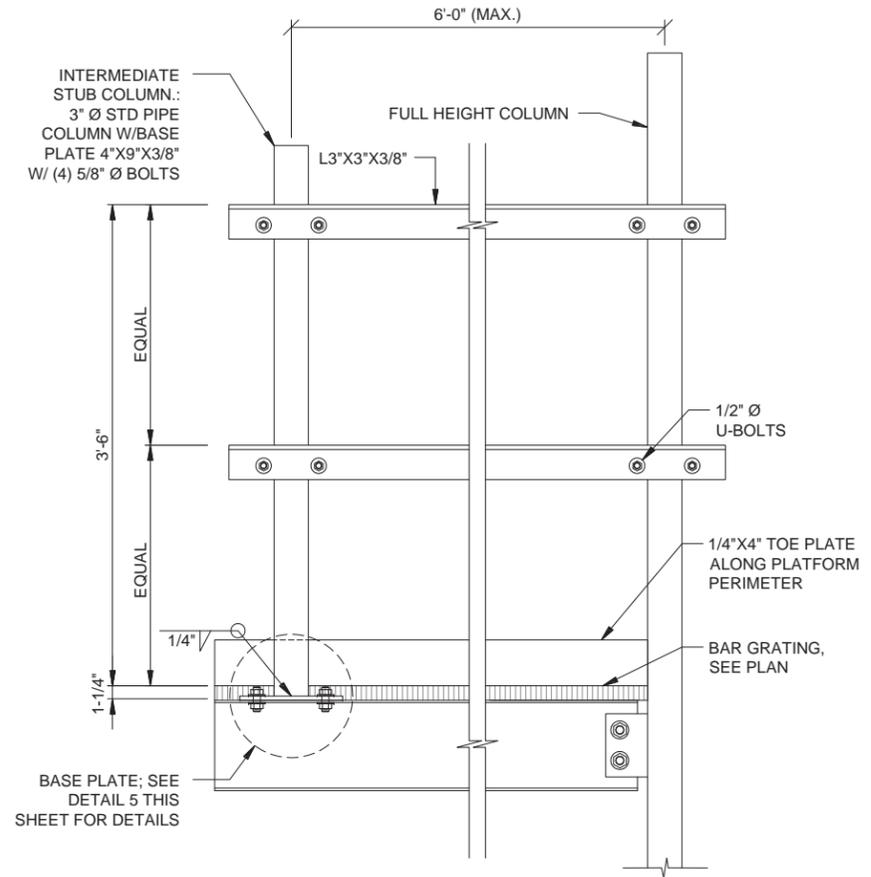
- GENERAL STEEL NOTES:**
1. ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", LATEST EDITION, AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES", LATEST EDITION, EXCEPT AS MODIFIED BELOW OR IN THE SPECIFICATIONS.
 2. ALL STRUCTURAL STEEL W/ SHAPES SHALL CONFORM TO THE ASTM A572 OR A992 GRADE 50. ALL OTHER STRUCTURAL STEEL SHAPES, PLATES, AND BARS SHALL CONFORM TO ASTM A36. PIPES SHALL CONFORM TO ASTM A53 TYPE E OR S. ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 GRADE 36 AND BE COMPATIBLE WITH E70XX ELECTRODES.
 3. ALL WELDING SHALL BE DONE BY QUALIFIED WELDERS AND SHALL CONFORM TO AWS D1.1 "STRUCTURAL WELDING CODE", LATEST EDITION. ALL WELDING ELECTRODES SHALL BY E70XX.
 4. THE CONTRACTOR SHALL FIELD VERIFY ALL MEASUREMENTS AND EXISTING CONDITIONS.
 5. IF CONDITIONS VARY FROM THOSE ON THE DRAWINGS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
 6. THE CONTRACTOR SHALL OBSERVE ALL SAFETY RULES DICTATES BY CODE AND GOOD PRACTICE.
 7. SHOULD UNFORESEEN CONDITIONS OR OTHER CAUSE NECESSITATE THE CONSTRUCTION DETAILS TO BE MODIFIED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE PERFORMING THESE CHANGES.



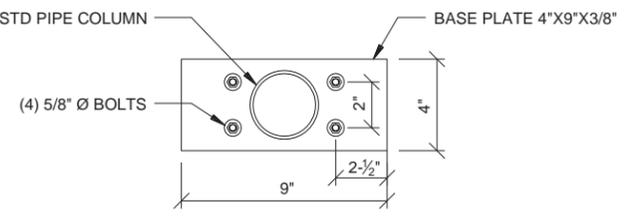
2 TYPICAL BEAM TO BEAM CONNECTION
 SCALE: 2"=1'-0" (2"=2'-0"IF 11X17 SHEET SIZE)



3 TYPICAL BEAM TO COLUMN CONNECTION
 SCALE: 3"=1'-0" (3"=2'-0"IF 11X17 SHEET SIZE)



4 EQUIPMENT PLATFORM RAIL DETAIL
 SCALE: 1 1/2"=1'-0" (1 1/2"=2'-0"IF 11X17 SHEET SIZE)



5 BASE PLATE DETAIL
 SCALE: 3"=1'-0" (3"=2'-0"IF 11X17 SHEET SIZE)

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LOCATION # 288442
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 MOLINE, IL 61265

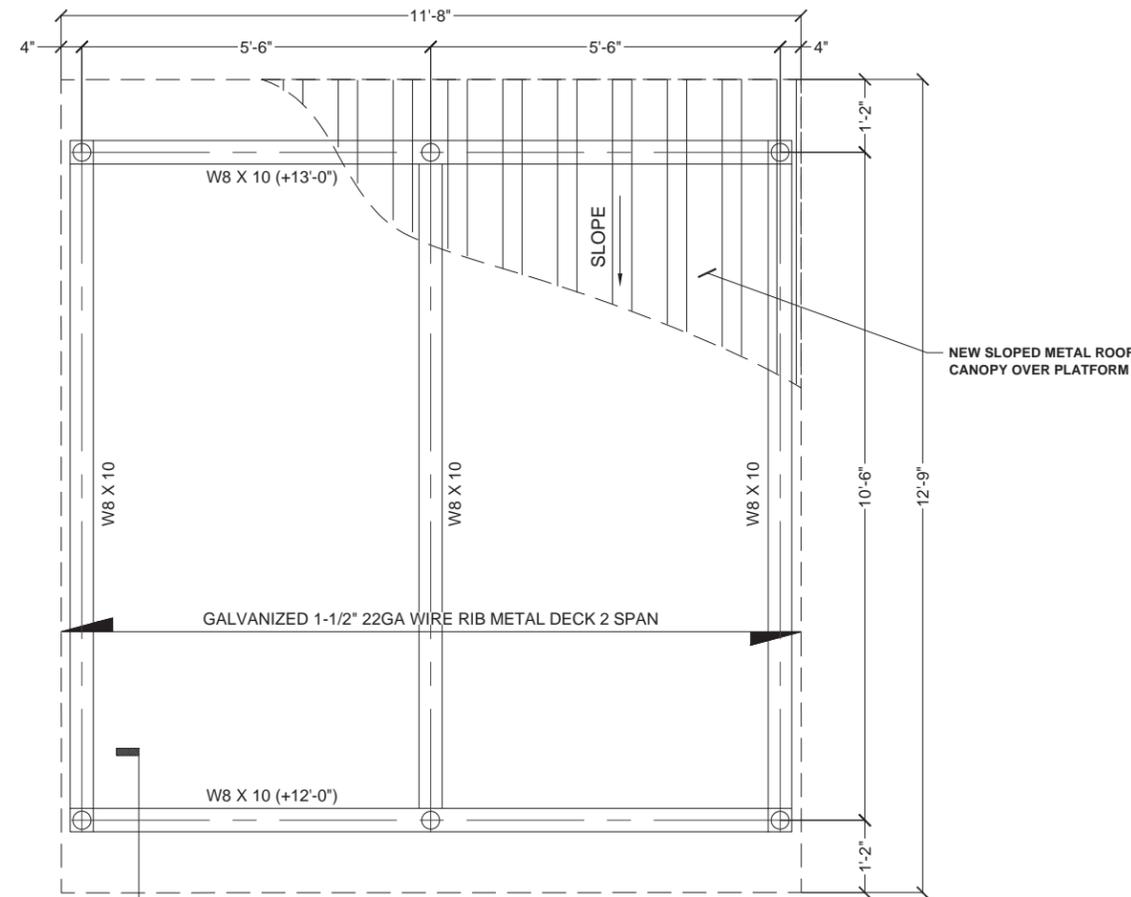
SHEET TITLE:
**STEEL PLATFORM
 DETAILS**

SHEET NUMBER:
S-2

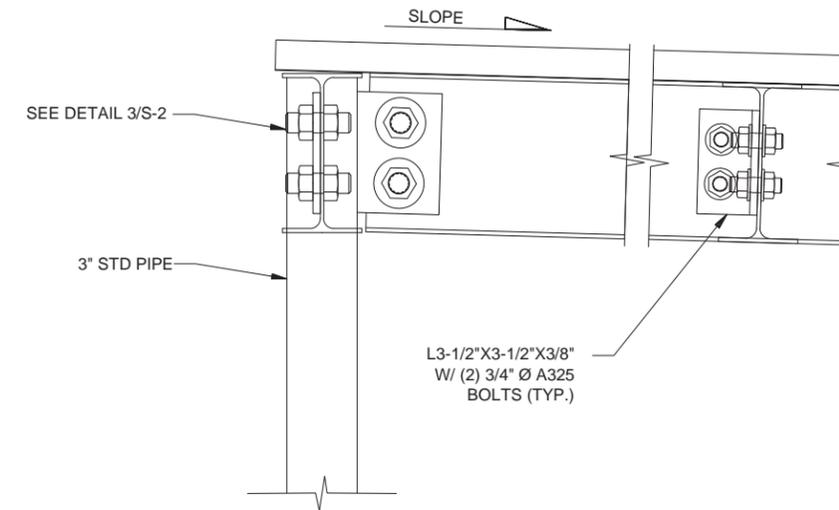
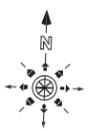
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1 PLATFORM - ROOF FRAMING PLAN
SCALE: 3/4"=1'-0" (3/4"=2'-0" IF 11X17 SHEET SIZE)



2 ROOF COLUMN DETAIL
SCALE: 3"=1'-0" (3"=2'-0" IF 11X17 SHEET SIZE)

- METAL DECK NOTES:**
- METAL ROOF DECK SHALL BE GALVANIZED. GALVANIZED SHEET STEEL SHALL CONFORM TO ASTM A446 GRADE A AND ASTM A525 WITH A MINIMUM G60 COATING UNLESS OTHERWISE NOTED.
 - METAL DECK SECTION PROPERTIES SHALL BE COMPUTED IN ACCORDANCE WITH AISI "SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS". THE MINIMUM THICKNESS OF ROOF DECK SHALL BE 20 GAUGE.
 - ALL DECKING SHALL BE WELDED TO STRUCTURAL STEEL BY QUALIFIED WELDERS USING PRE-QUALIFIED PROCEDURES. THE ERECTOR SHALL ESTABLISH A WELDING PROCEDURE FOR THE PLUG WELD OF THE STEEL DECKING TO THE STRUCTURAL STEEL FOR THE PARTICULAR GAGE USED. PRIOR TO THE START OF ERECTION OF THE STEEL DECK, EACH WELDER SHALL BE QUALIFIED USING THIS PROCEDURE AS WITNESSED BY OWNERS STRUCTURAL STEEL TESTING LABORATORY. THE OWNER'S TESTING LABORATORY WILL VISUALLY INSPECT THE WELDS IN THE FIELD.
 - FASTENING OF METAL DECK TO THE STRUCTURAL STEEL. THE FOLLOWING LIMITS SHALL NOT BE EXCEEDED.
 - ALL METAL DECKING SHALL BE WELDED AT 12" (6" AT THE PERIMETER) MAXIMUM ON CENTER TO THE SUPPORTING STEEL WITH 5/8" DIAMETER WELDS.
 - NO 10 TEK SIDE LAP SCREWS SHALL BE FASTENED AT 36" O.C. MAXIMUM ON CENTER.
 - SEE PLAN FOR ADDITIONAL PLAN FASTENING REQUIREMENTS.
 - NO LOADS EXCEEDING 50 LBS SHALL BE PERMITTED TO BE HUNG FROM ANY METAL DECKING. ALL HANGERS FOR DUCTWORK, PIPING, ETC. SHALL BE HUNG DIRECTLY FROM STRUCTURAL STEEL WORK OR SUPPLEMENTARY MEMBERS OR ANCHORS EMBEDDED IN THE CONCRETE. ALL HANGING LOAD DETAILS SHALL BE SUBMITTED FOR REVIEW.



LOCATION # 288442
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SHEET TITLE:
**STEEL PLATFORM
ROOF DETAILS**

SHEET NUMBER:
S-3

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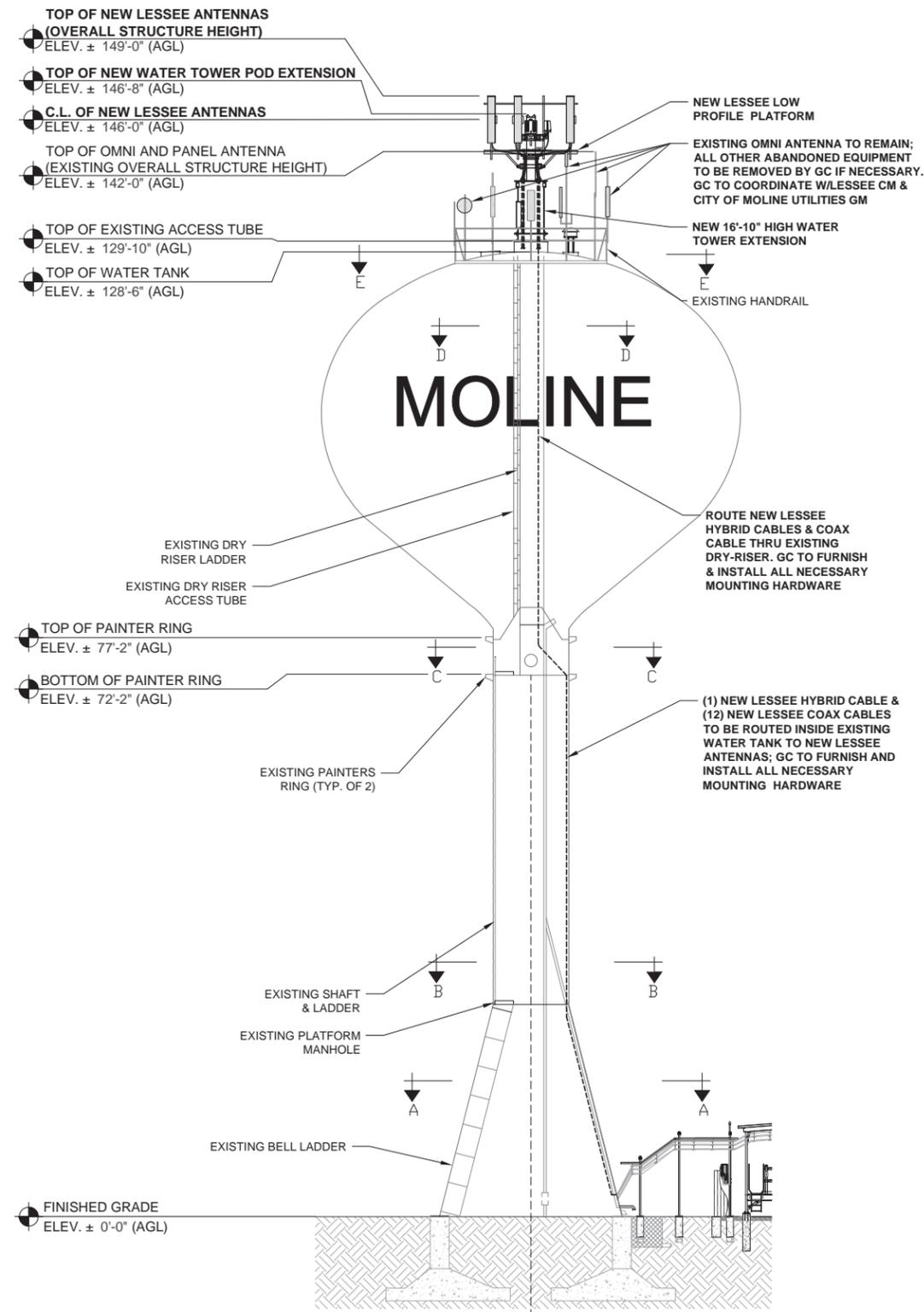


LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
**EXIST. WATER TOWER
ELEVATION AND DETAILS**

SHEET NUMBER:

S-4



1 WATER TOWER ELEVATION
SCALE: 3/32"=1'-0" (3/32"=2'-0" IF 11X17 SHEET SIZE)

STRUCTURAL NOTES:

All bolts and fasteners should be stainless steel

Observations:

The paint system should be checked as an environmental precaution and dust control measures taken if necessary for the protection of workers.

Good Practice Requirements

Health and Safety

Contractor shall provide all safety equipment and fall protection to insure the safety of on site personnel during construction.

Access to the tank interior water compartment shall not be permitted without the approval of the water department supervisor. Precautions shall be taken to prevent water contamination.

The paint system shall be checked for hazardous metals. Where hazardous metals are found in the paint system, the environment and workers must be protected from contamination.

General Welding

All welding shall be in accordance with AWWA D100-96 Sec. 8, Welding and Sec. 11, Inspection and Testing.

All welds to the tank surface shall be made with E7018 low hydrogen rod and shall be smooth and free of burrs and undercuts. Unacceptable welds shall be repaired as required to meet AWWA D100-96 requirements.

No welding shall be done when the ambient temperature is below 32 degree Fahrenheit unless the requirements of AWWA D100, Sec 10.2.1 are followed.

Welding to the tank or access tube opposite the water level is not permitted. The water level shall be drawn down to a level two feet below the point of welding.

Welding may cause blistering of the interior paint opposite the weld. Damaged paint surface should be touched up when the tank is taken out of service for its annual inspection. Exterior paint damage shall be repaired after completion of the antenna installation, and shall be compatible with the existing paint system.

Galvanized components shall not be welded directly to the tank surface. Other galvanized surfaces shall be ground free of galvanizing before welding.

We recommend all welds be prepared to a SSPC-SP10 and the remaining exterior damaged areas be prepared to a minimum of SSPC-SP6.

Cold Weather Instructions

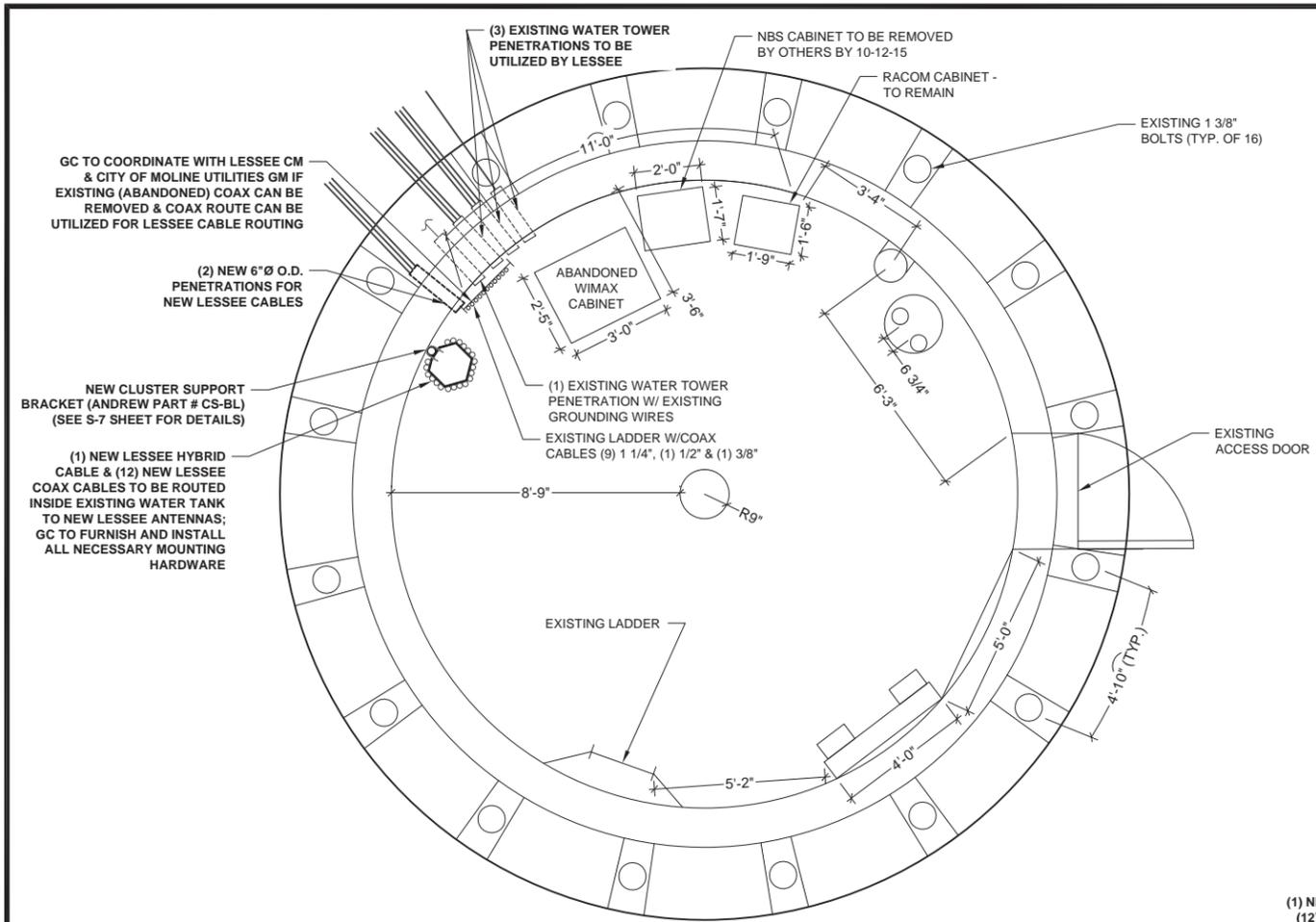
Weather and Temperature Conditions

Welding shall not be performed when the surfaces of the parts to be welded are wet from rain, snow, or ice, when rain or snow is falling on such surfaces, or during periods of high winds, unless the welder or welding operator and the work are properly protected.

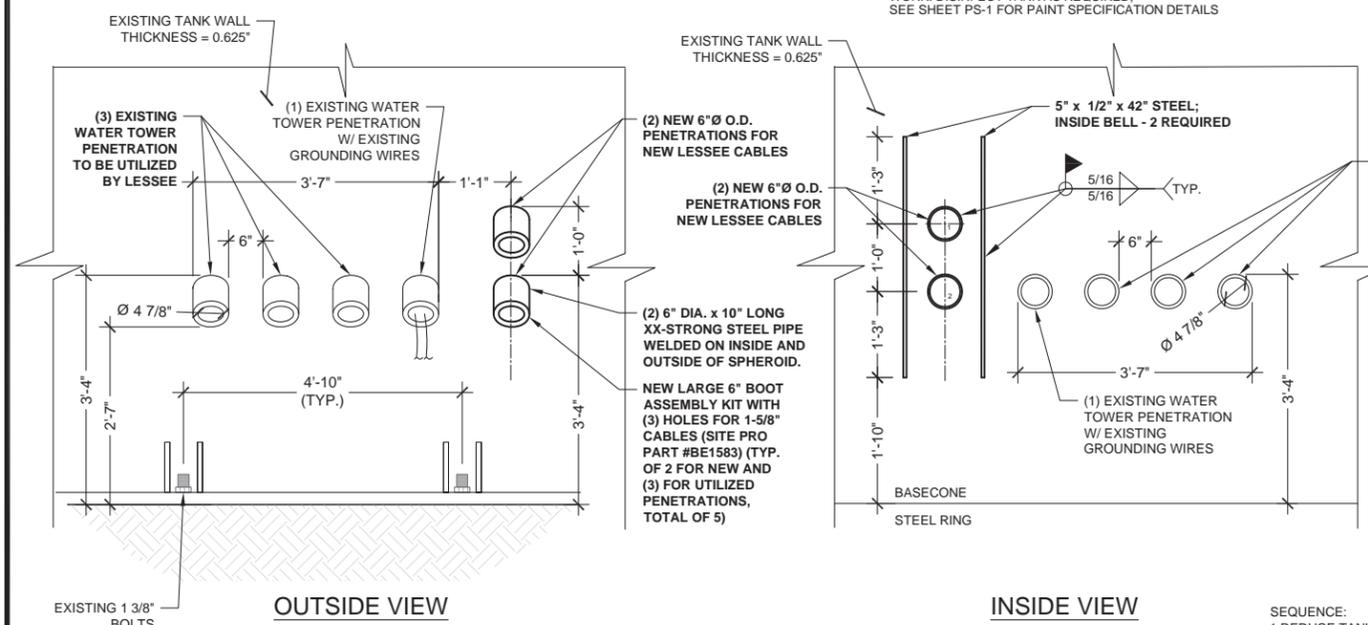
Welding shall not be performed when the base metal temperature is lower than 32oF (0oC) unless the base metal within a distance of four times the plate thickness (3 in. or 76 mm minimum) of the place where welding is to be started is preheated to at least 100oF (37.8oC) and this temperature is maintained for the distance ahead of the arc set forth above as welding progresses.

It is recommended that no welding be done when the base metal temperature falls below 32oF (0oC). The following special requirements are to be met:

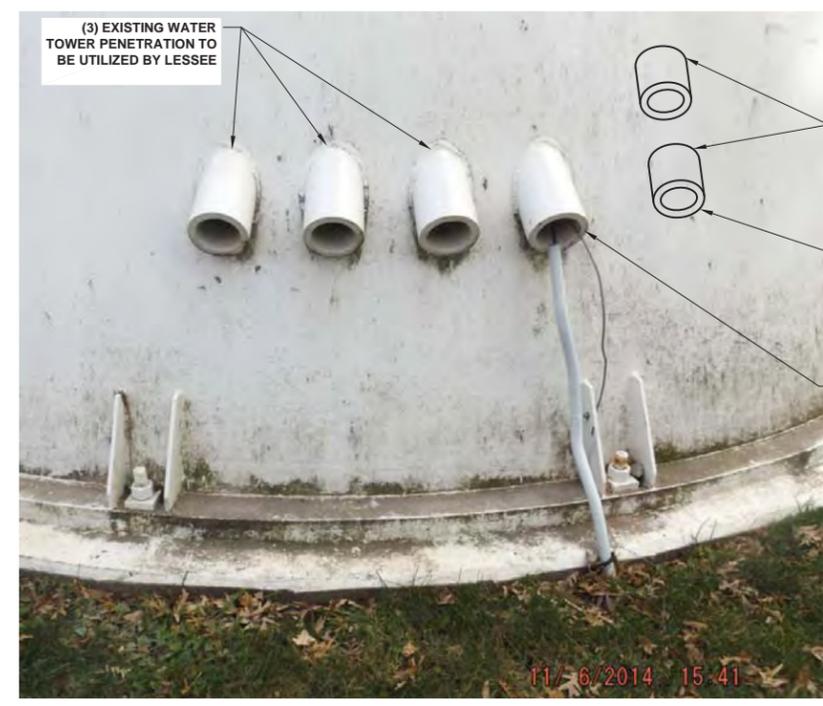
1. Low-hydrogen electrodes or low hydrogen welding processes shall be used.
2. The base metal along the length of the weld joint in the direction of welding shall be preheated to 200oF (93oC) and maintained as welding progresses for a distance of at least 36 in. (914mm) from the point of welding or the entire weld joint length, whichever is less. In addition, the area extending on both sides of the weld joint a distance of four times the plate thickness, but not less than 3 in. (76mm) nor more than 6 in. (152 mm), shall be preheated to and maintained at 200oF (93oC) during welding.



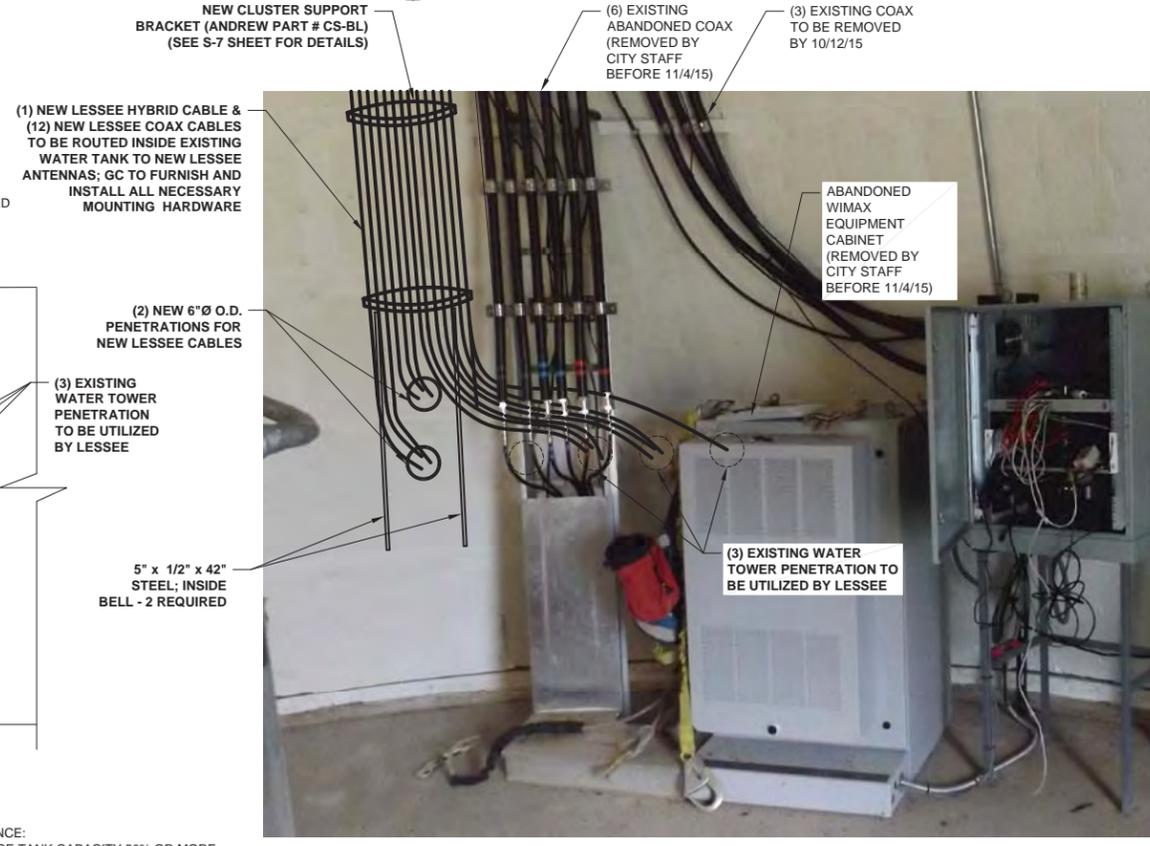
1 SECTION A-A (TANK BASE)
SCALE: N.T.S.



3 EXISTING AND NEW WATER TANK PENETRATIONS DETAIL
SCALE: N.T.S.



2 EXISTING AND NEW WATER TANK PENETRATIONS
SCALE: N.T.S.



4 ROUTING OF COAX CABLE (GROUND FLOOR)
SCALE: N.T.S.

SEQUENCE:
1. REDUCE TANK CAPACITY 50% OR MORE
2. WELD IN PLACE 1/2" X 5" STIFF PLATES BEFORE ANY PENETRATION
3. CUT HOLE # 1. AND WELD PIPE SLEEVE IN PLACE
4. CUT HOLE # 2. AND WELD PIPE SLEEVE IN PLACE

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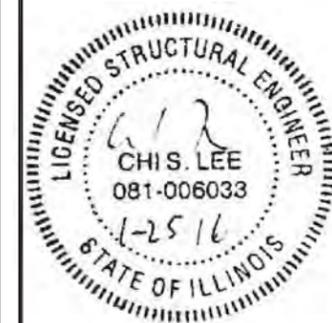
SHEET TITLE:
STRUCTURAL DETAILS

SHEET NUMBER:
S-5

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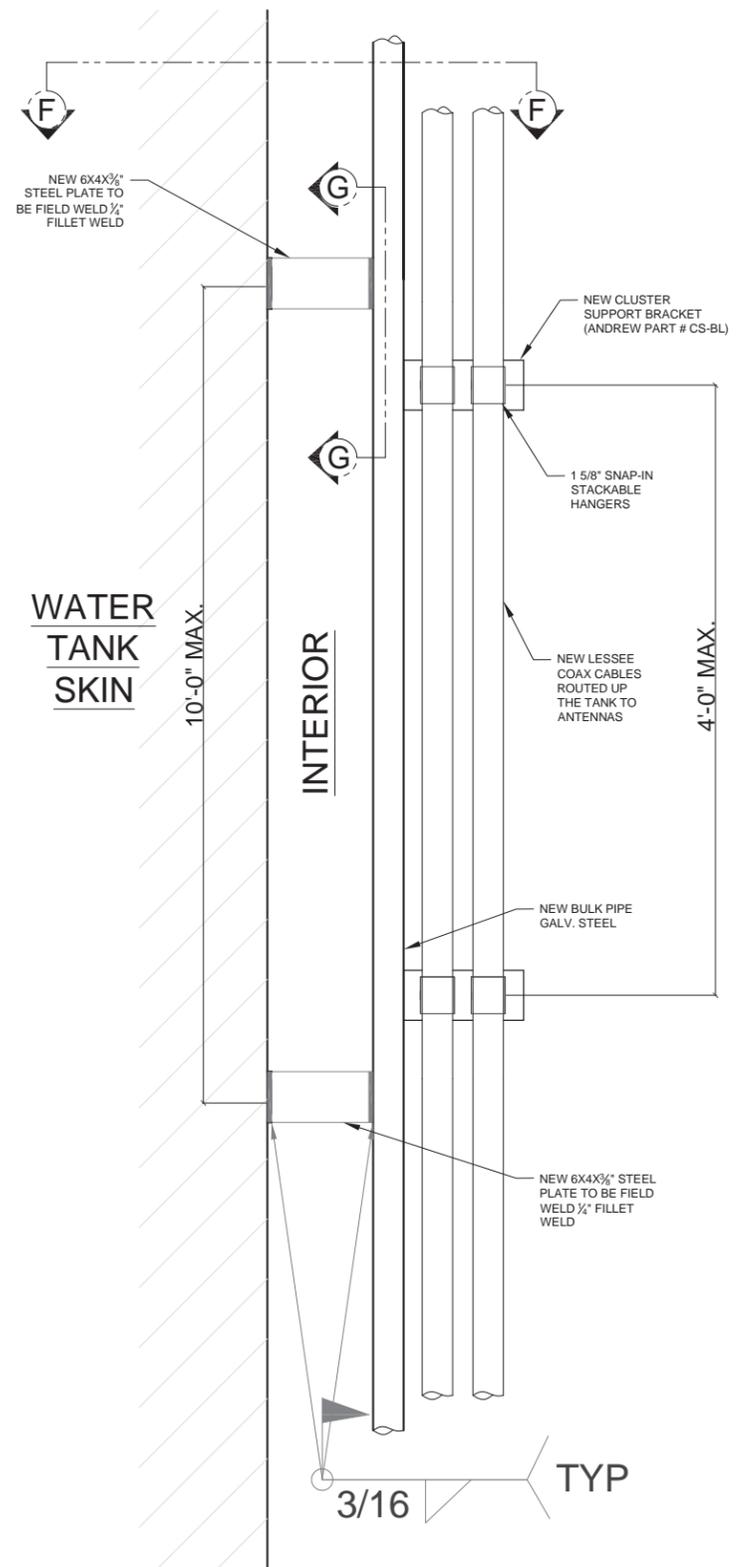
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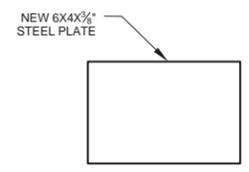
LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
VERTICAL ROUTING
OF COAX CABLE (BELL SECTION)

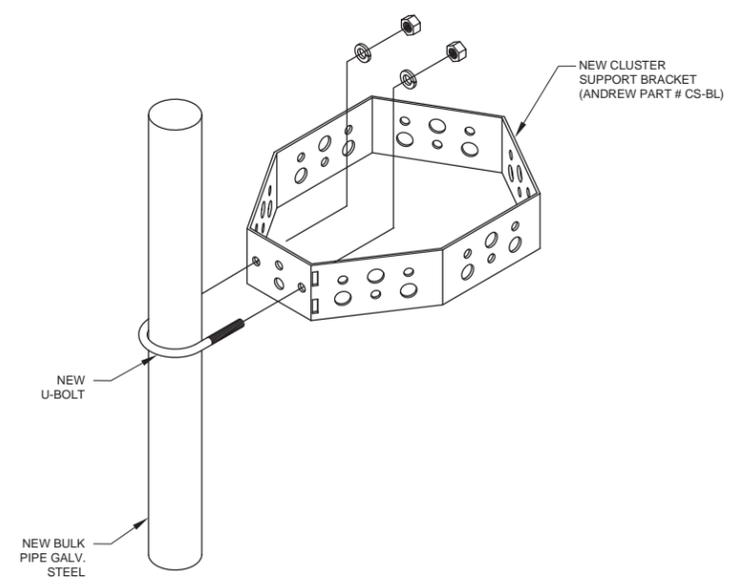
SHEET NUMBER:
S-6



1 VERTICAL ROUTING OF COAX
CABLE IN BELL SECTION (PROFILE)
SCALE: NTS



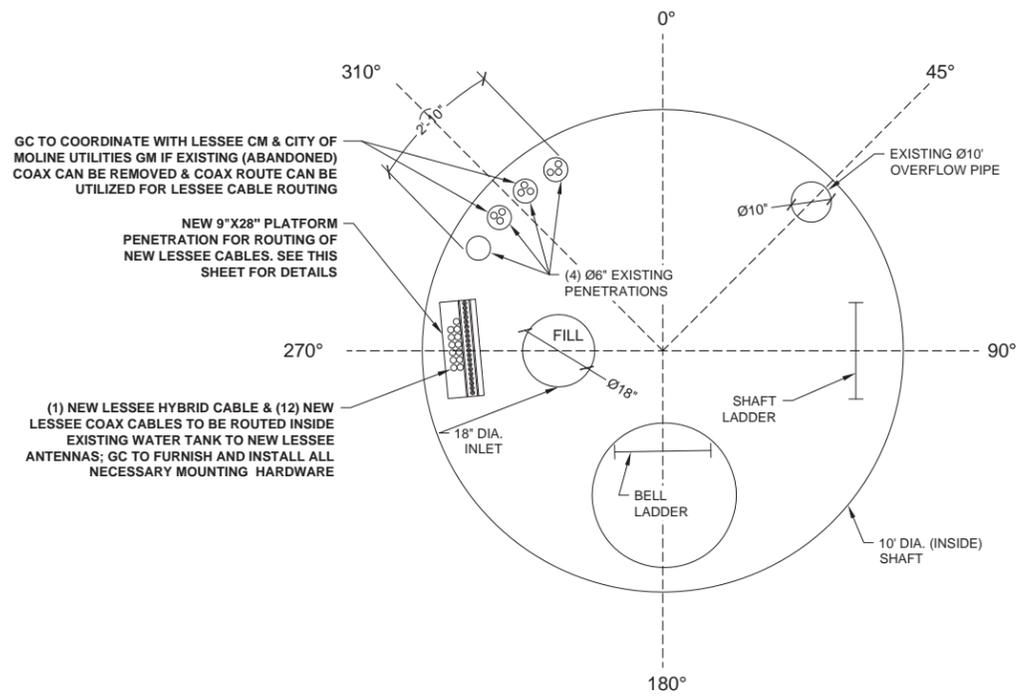
SECTION G-G



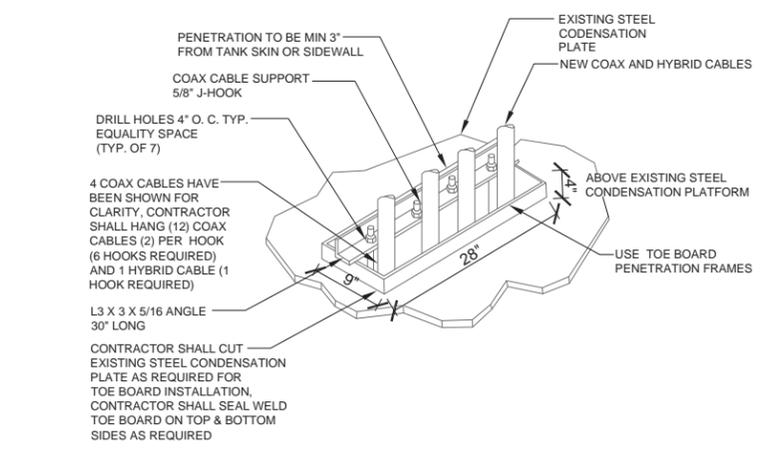
F-F COAX CABLE SUPPORT DETAIL
SCALE: NTS

GENERAL WELDING

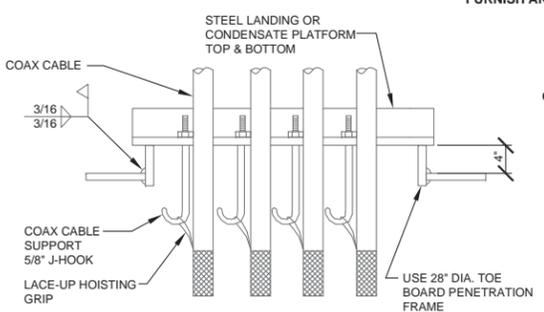
- ALL WELDING SHALL BE BY AN AWS CERTIFIED WELDER.
- COMPLY WITH THE AWS STRUCTURAL WELDING CODES, INCLUDING ANS/AWWA D100-2005 "AWWA STANDARD FOR WELDED STEEL TANKS FOR WATER STORAGE AS MODIFIED TO DATE.
- MAKE ALL WELDS TO THE TANK WALL WITH E7018 LOW HYDROGEN ROD. WELD SMOOTH AND AVOID UNDERCUTS AND BURRS. GRIND SMOOTH ALL WELDS SO THAT NO SHARP PROTRUSIONS REMAIN. SMOOTH IS DEFINED AS NO CUTS OR ABRASIONS OCCUR WHEN RUBBING YOUR HAND OVER THE WELD.
- DO NOT WELD WHEN THE AMBIENT TEMPERATURE IS BELOW 32 F UNLESS THE REQUIREMENTS OF AWWA D100, SEC 10.2.1. ARE FOLLOWED.
- BEFORE WELDING, REMOVE ALL COATINGS WITHIN 6" OF THE AREA TO BE WELDED. PREPARE EXISTING STRUCTURAL COMPONENTS SURFACES WHERE WELDING IS TO BE PERFORMED IN ACCORDANCE WITH SSPC AMD API CODES.
- AFTER WELDING CLEAN ALL DAMAGED SURFACES IN ACCORDANCE WITH SSPC-SP3 "POWER TOOL CLEANING" CONDITION PRIOR OF APPLICATION OF PRIME COAT SEE SHEET PS-1 FOR PAINT SPECIFICATION DETAILS.
 - SSPC-SP3 POWER TOOL CLEANING WILL ONLY BE ALLOWED FOR ISOLATED APPROVED AREAS.
- DO NOT WELD GALVANIZED COMPONENTS DIRECTLY TO THE TANK SURFACE. GRIND GALVANIZED SURFACES FREE OF GALVANIZING PRIOR TO WELDING. PREPARE EXISTING STRUCTURAL COMPONENT SURFACES WHERE WELDING IS TO BE PERFORMED IN ACCORDANCE WITH AWS CODES.
- USE ASTM A-36 CARBON STEEL FOR ALL STRUCTURAL STEEL, USE ASTM A-325 BOLTS UNLESS OTHERWISE SPECIFIED.
- COMPLY WITH APPLICABLE AWWA D-100, ANSI, ASTM STANDARDS, THE ACI, AISC, AND FEDERAL STATE AND LOCAL CODES, DURING CONSTRUCTION DESIGN AND FABRICATION.
- VERIFY FIELD CONDITIONS. FIELD FIT UP PROBLEMS OR CHANGES TO THE PLAN SHEETS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER. CONTRACTOR SHALL CONTACT WELDING INSPECTOR 48 HOURS PRIOR TO ACTUAL WELDING (LARRY SMITANA CWI SERVICES) 630- 878-9502 OR T-MOBILE APPROVED OTHER.
- WELD CERTIFICATION SHALL BE PROVIDED TO WELDING INSPECTOR PRIOR TO WORK COMMENCEMENT.



1 SECTION B-B: BOTTOM CONDENSATION PLATFORM
SCALE: N.T.S.



3 CONDENSATION PLATFORM PENETRATION DETAILS
SCALE: N.T.S.



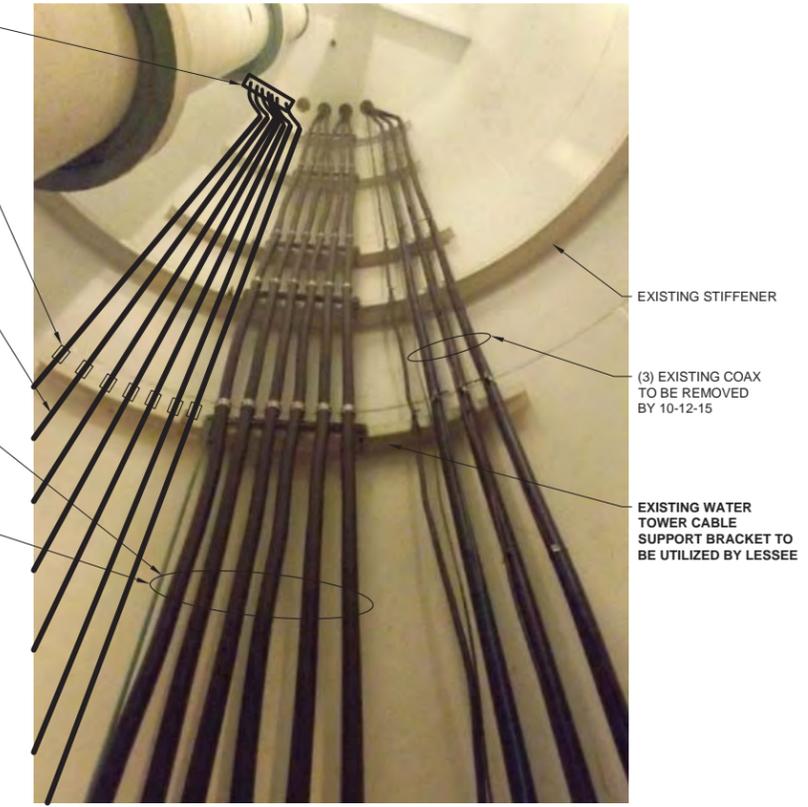
GC TO COORDINATE WITH LESSEE CM & CITY OF MOLINE UTILITIES GM IF EXISTING (ABANDONED) COAX CAN BE REMOVED & COAX ROUTE CAN BE UTILIZED FOR LESSEE CABLE ROUTING



2 SECTION B-B: BOTTOM CONDENSATION PLATFORM
SCALE: N.T.S.

GC TO INSTALL NEW SNAP IN HANGERS FOR NEW LESSEE CABLES FOR ENTIRE CABLE ROUTE INSIDE AND ON TOP OF WATER TANK SHAFT; CABLES TO BE DOUBLE-STACKED

(1) NEW LESSEE HYBRID CABLE & (12) NEW LESSEE COAX CABLES TO BE ROUTED INSIDE EXISTING WATER TANK TO NEW LESSEE ANTENNAS; GC TO FURNISH AND INSTALL ALL NECESSARY MOUNTING HARDWARE



4 SECTION B-B: ROUTING OF COAX CABLES INSIDE TOWER SHAFT
SCALE: N.T.S.

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LOCATION # 288442
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531 15TH AVE
MOLINE, IL 61265

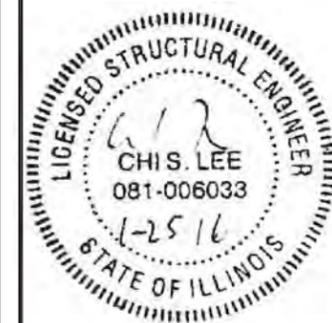
SHEET TITLE:
STRUCTURAL DETAILS

SHEET NUMBER:
S-7

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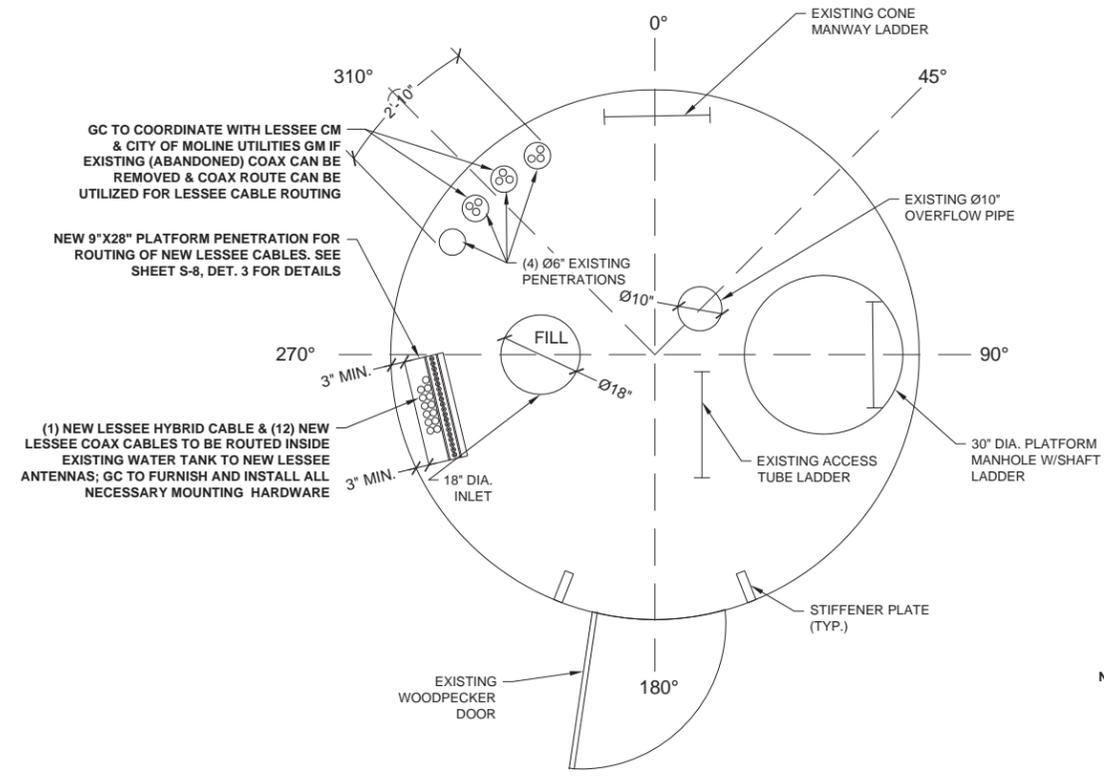
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LOCATION # 288442
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SHEET TITLE:
STRUCTURAL DETAILS

SHEET NUMBER:
S-8



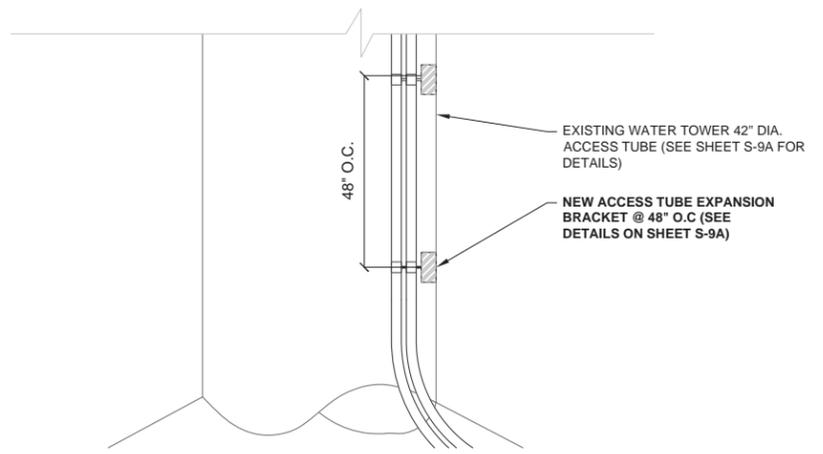
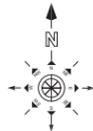
(1) NEW LESSEE HYBRID CABLE & (12) NEW LESSEE COAX CABLES TO BE ROUTED INSIDE EXISTING WATER TANK TO NEW LESSEE ANTENNAS; GC TO FURNISH AND INSTALL ALL NECESSARY MOUNTING HARDWARE



NEW 9"X28" PLATFORM PENETRATION FOR ROUTING OF NEW LESSEE CABLES. SEE THIS SHEET FOR DETAILS

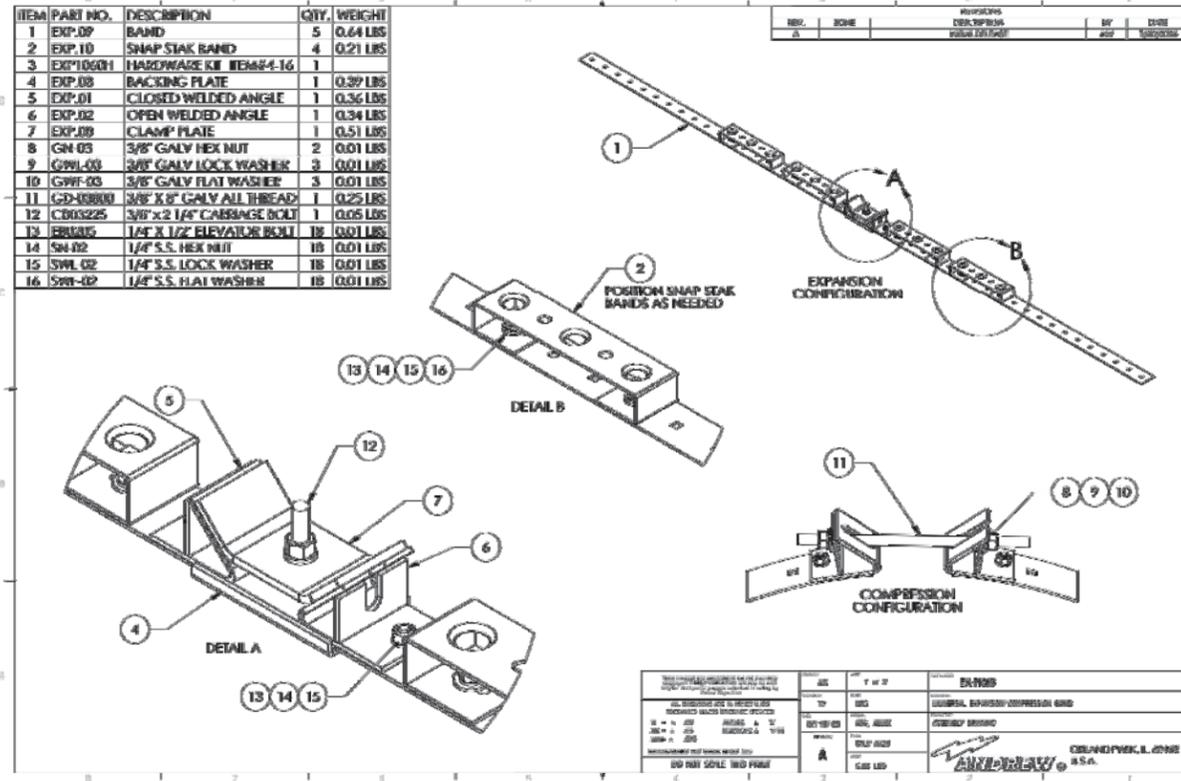
1 SECTION C-C: UPPER PLATFORM
SCALE: NTS

3 SECTION C-C: UPPER PLATFORM
SCALE: NTS

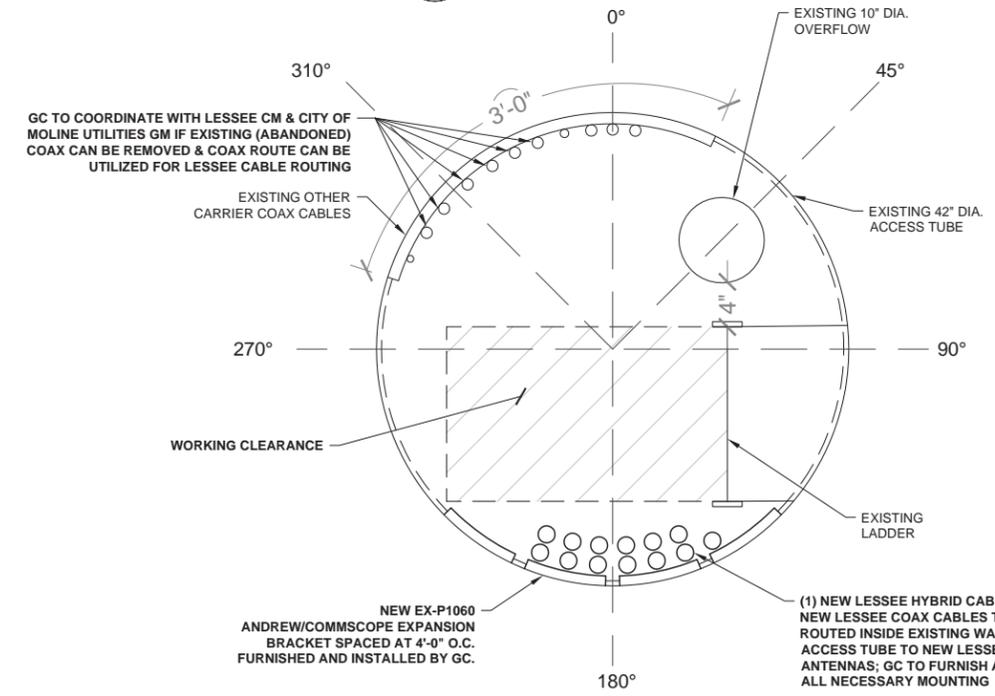


2 SECTION C-C: NEW CABLE ROUTING
SCALE: N.T.S.

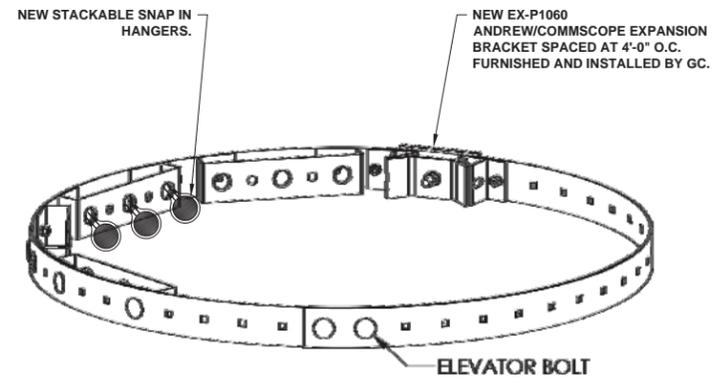
ITEM	PART NO.	DESCRIPTION	QTY.	WEIGHT
1	EXP.09	BAND	5	0.64 LBS
2	EXP.10	SNAP STAK BAND	4	0.21 LBS
3	EXP.10A01	HARDWARE KIT ITEMS 4-16	1	
4	EXP.08	BACKING PLATE	1	0.39 LBS
5	EXP.01	CLOSED WELDED ANGLE	1	0.36 LBS
6	EXP.02	OPEN WELDED ANGLE	1	0.34 LBS
7	EXP.09	CLAMP PLATE	1	0.51 LBS
8	GN.03	3/8" GALV HEX NUT	2	0.01 LBS
9	GN.02	3/8" GALV LOCK WASHER	3	0.01 LBS
10	GN.03	3/8" GALV FLAT WASHER	3	0.01 LBS
11	GD-08000	3/8" X 8" GALV ALL THREAD	1	0.25 LBS
12	CD03225	3/8" X 2 1/4" CARBIDE BOLT	1	0.05 LBS
13	SWL.05	1/4" X 1/2" ELEVATOR BOLT	18	0.01 LBS
14	SW.02	1/4" S.S. HEX NUT	18	0.01 LBS
15	SWL.02	1/4" S.S. LOCK WASHER	18	0.01 LBS
16	SW.01	1/4" S.S. FLAT WASHER	18	0.01 LBS



1 ACCESS TUBE EXPANSION BAND
SCALE: N.T.S.



2 SECTION D-D (ACCESS TUBE)
SCALE: N.T.S.

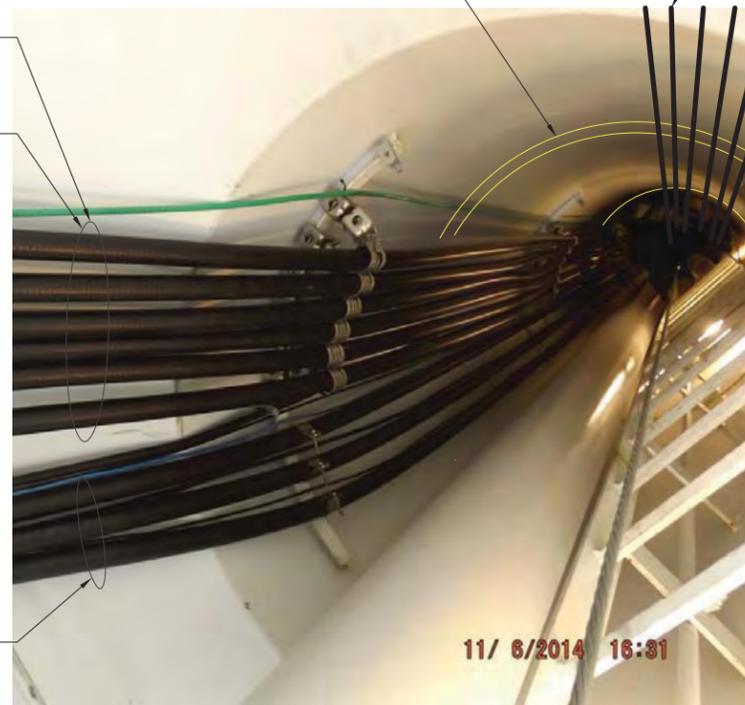


3 ACCESS TUBE EXPANSION BAND CONFIGURATION
SCALE: N.T.S.

1. WORKING CLEARANCE SHALL CONFORM TO THE REQUIREMENTS AS SET FORTH IN THE AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARD FOR "WELDING STEEL TANKS FOR WATER STORAGE." AS WELL AS OSHA MANDATED CLEARANCES.
2. CONTRACTOR SHALL NOT OBSTRUCT APPROX. 4' FROM BOTTOM. DO NOT RUN COAX OVER ACCESS HATCH IN FRONT OF ACCESS LADDER ON THE LADDER OR LADDER BRACING

- NEW ACCESS TUBE EXPANSION BRACKETS (TYPICAL) LOCATED EVERY 4'-0" O.C. ANDREW/COMMSCOPE P/N EX-P1060 FOR MOUNTING DETS. SEE MANF.'S DWGS.
- (1) NEW LESSEE HYBRID CABLE & (12) NEW LESSEE COAX CABLES TO BE ROUTED INSIDE EXISTING WATER TANK TO NEW LESSEE ANTENNAS; GC TO FURNISH AND INSTALL ALL NECESSARY MOUNTING HARDWARE

GC TO COORDINATE WITH LESSEE CM & CITY OF MOLINE UTILITIES GM IF EXISTING (ABANDONED) COAX CAN BE REMOVED & COAX ROUTE CAN BE UTILIZED FOR LESSEE CABLE ROUTING



4 COAX ROUTING INSIDE ACCESS TUBE
SCALE: N.T.S.

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CHECKED BY: RH APPROVED BY: GMS



LOCATION # 288442
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MOLINE, IL 61265

SHEET TITLE:
**ACCESS TUBE
MOUNTING DETAILS**

SHEET NUMBER:
S-8A

IMPORTANT NOTES:

- GC TO PRE-SWEEP RACOM LINE PRIOR TO DISCONNECTING AFTER RECONNECTING DISCONNECTED LINE - GC TO DO POST-SWEEP AND PROVIDE PRE & POST SWEEP RESULTS TO RACOM FOR ACCEPTANCE PRIOR TO WEATHER PROOFING



GC TO CUT EXISTING DRY RISER ROOF HATCH PRIOR TO INSTALLATION OF NEW EXTENSION POD

GC TO CUT EXISTING ABANDONED COAX CABLES BELOW TOP OF EXISTING HATCH AND INSTALL HOISTING GRIP (SEE DETAILS #4 & #5 ON SHEET WT-1) OR GC TO COORDINATE WITH LESSEE CM & CITY OF MOLINE UTILITIES GM FOR REMOVAL OF EXISTING ABANDONED COAX

EXISTING WATER TANK TENANTS' CONTACT INFORMATION:

1. **ROCK ISLAND PD PUBLIC SAFETY RECEIVER**
 RACOM CORPORATION
 1515 46TH AVENUE #1
 MOLINE, IL 61265
 BRIAN YOUNGREN - MANAGER - MOLINE OPERATIONS
 O: (309) 797-7709, C:309-525-2860
 BRIAN.YOUNGREN@RACOM.NET

GC TO CONTACT RACOM 48 HRS PRIOR TO CONSTRUCTION START

2. **NBS INC.**
 23834 EAST 1260TH STREET
 GENESEO, IL 61254
 KARI HOFMANN
 (815) 452-2804 - EX.101
 EMAIL: KARI@NBSON.COM

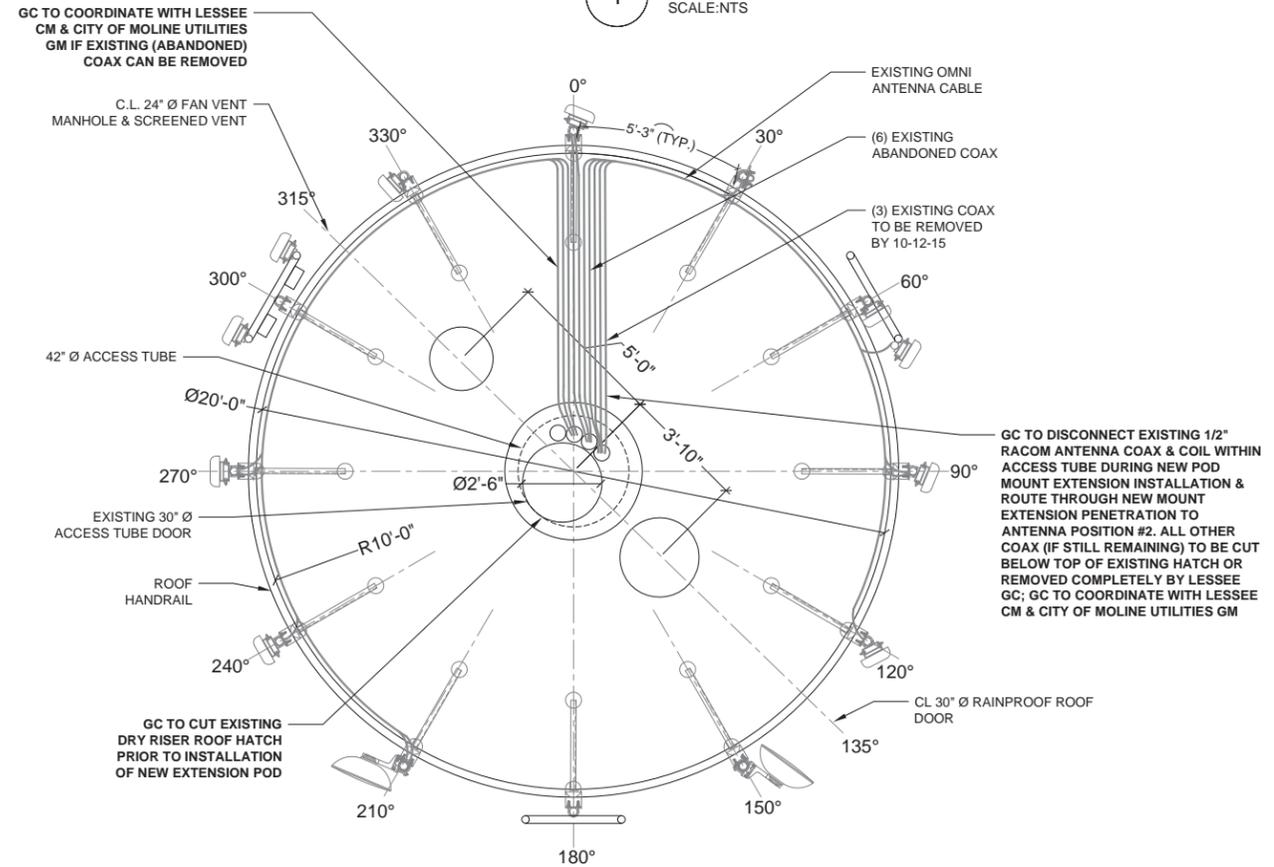
PER PHONE CONVERSATION WITH KARI HOFMANN (08-25-15, 8:45 AM) - NBS IS PLANNING TO REMOVE ALL OF THEIR EQUIPMENT BEFORE SEPT. 30TH, 2015; VERIZON GC TO CUT/REMOVE NBS CABLES AS NECESSARY; PER EMAIL FROM KARI HOFMANN (10-9-15 7:59 AM) - NBS WILL BE REMOVING THEIR EQUIPMENT ON MONDAY OCT 12TH (ANTENNAS, LINES, CABINET)

3. **RAYTHEON - WIMAX (ABANDONED EQUIPMENT)**
 GC TO CONTACT CITY OF MOLINE UTILITIES GENERAL MANAGER IF NECESSARY:
 GREG SWANSON - MOLINE UTILITIES GM
 (309) 524-2301

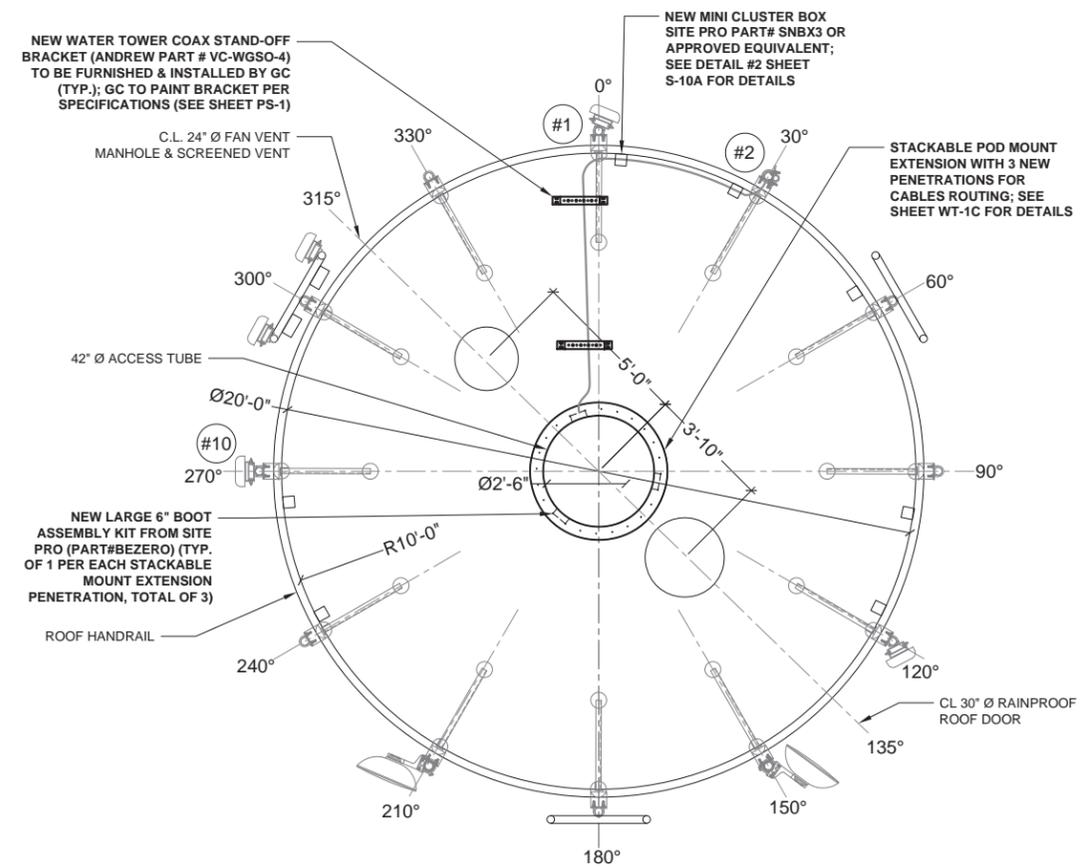
EXISTING CABLE SCHEDULE

CARRIER	LINE COUNT	LINE SIZE	LINE TYPE	NEW ITEMS TO BE ADDED TO SYSTEM
RACOM	1	1/2"	LMR - 500	NONE
RAYTHEON ABANDONED WIMAX EQUIPMENT	ALL (6) 1 1/4" LINES HAVE BEEN REMOVED BY CITY STAFF BEFORE 11/4/15			
NBS	ALL LINES/EQUIPMENT TO BE REMOVED BY OCT 12TH			
GC TO COORDINATE CONSTRUCTION SCHEDULE WITH RACOM				

1 VIEW OF EXISTING TOP OF THE TANK
SCALE:NTS



2 EXISTING SECTION E-E
SCALE:NTS



3 NEW SECTION E-E
SCALE:NTS

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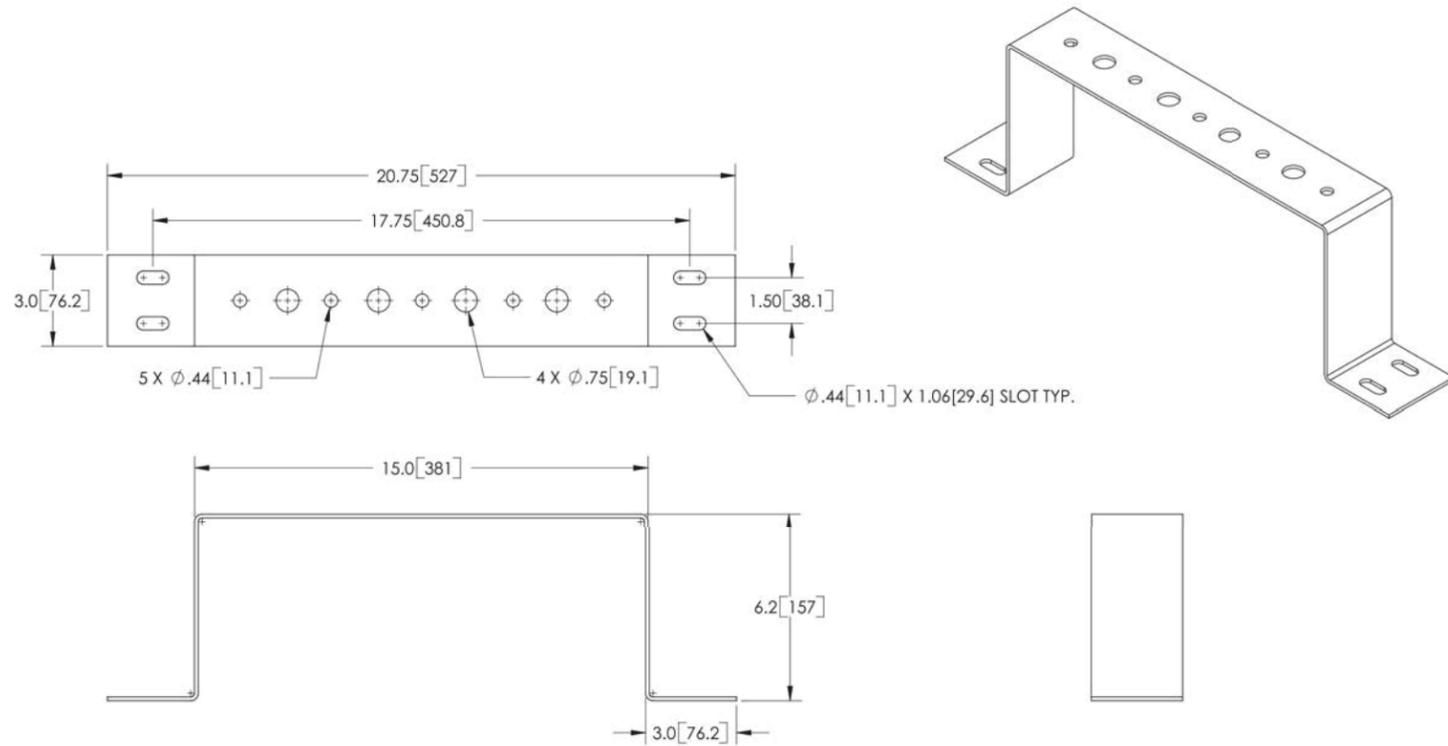


LOCATION # 288442
 STEPHENS PARK
 531 15TH AVE
 MOLINE, IL 61265

SHEET TITLE:
STRUCTURAL DETAILS

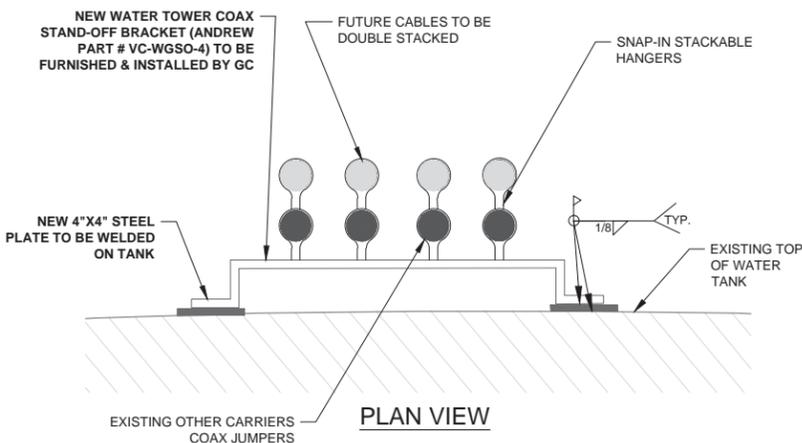
SHEET NUMBER:
S-9

REV.	ZONE	DESCRIPTION	BY	DATE
A		INITIAL RELEASE	CAM	04/09/02
B		ADDED FLAT VIEW	ACG	03/15/06



NOTES:
 1. ALL METRIC DIMENSIONS ARE IN BRACKETS.
 2. STAMP PART IDENTIFICATION NUMBER.

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<small>DESIGNED BY</small> <small>TP</small>	<small>DATE</small> <small>03/15/06</small>	<small>SCALE</small> <small>A36</small>	<small>TITLE</small> <small>Waveguide Bridge Standoff Bracket for 4 Coax Runs</small> <small>ASSEMBLY DRAWING</small>
<small>REVISED BY</small> <small>B</small>	<small>DATE</small> <small>03/15/06</small>	<small>SCALE</small> <small>1:25</small>	<small>REVISED DESCRIPTION</small> <small>ORLAND PARK, IL 60462</small> <small>U.S.A.</small>

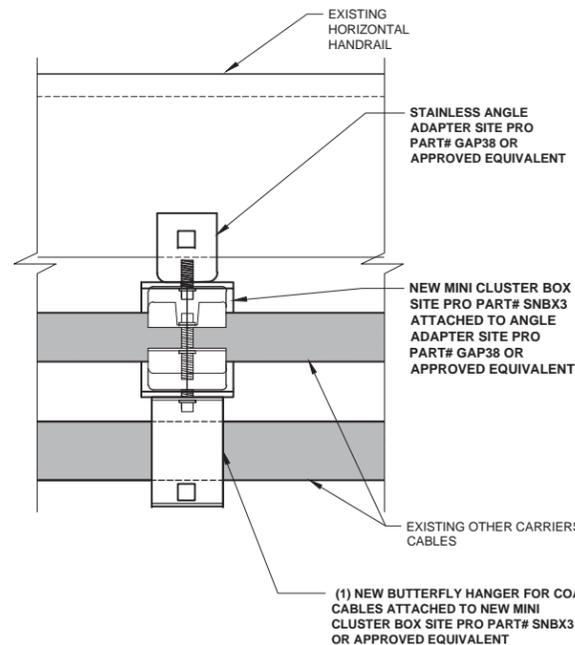
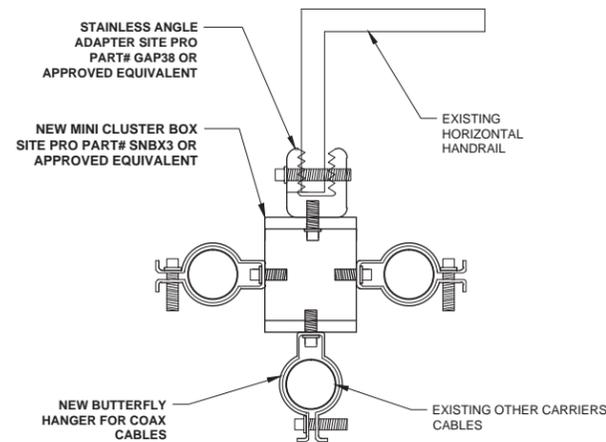


CABLE SUPPORT
(TOP OF WATER TANK)

1 SCALE: N.T.S.

GENERAL WELDING

- ALL WELDING SHALL BE BY AN AWS CERTIFIED WELDER.
- COMPLY WITH THE AWS STRUCTURAL WELDING CODES, INCLUDING ANS/AWMA D100-2005 "AWMA STANDARD FOR WELDED STEEL TANKS FOR WATER STORAGE AS MODIFIED TO DATE.
- MAKE ALL WELDS TO THE TANK WALL WITH E7018 LOW HYDROGEN ROD. WELD SMOOTH AND AVOID UNDERCUTS AND BURRS. GRIND SMOOTH ALL WELDS SO THAT NO SHARP PROTRUSIONS REMAIN. SMOOTH IS DEFINED AS NO CUTS OR ABRASIONS OCCUR WHEN RUBBING YOUR HAND OVER THE WELD.
- DO NOT WELD WHEN THE AMBIENT TEMPERATURE IS BELOW 32 F UNLESS THE REQUIREMENTS OF AWMA D100, SEC 10.2.1. ARE FOLLOWED.
- BEFORE WELDING, REMOVE ALL COATINGS WITHIN 6" OF THE AREA TO BE WELDED. PREPARE EXISTING STRUCTURAL COMPONENTS SURFACES WHERE WELDING IS TO BE PERFORMED IN ACCORDANCE WITH SSPC AMD API CODES.
- AFTER WELDING CLEAN ALL DAMAGED SURFACES IN ACCORDANCE WITH SSPC-SP3 "POWER TOOL CLEANING" CONDITION PRIOR OF APPLICATION OF PRIME COAT SEE SHEET PS-1 FOR PAINT SPECIFICATION DETAILS.
 A. SSPC-SP3 POWER TOOL CLEANING WILL ONLY BE ALLOWED FOR ISOLATED APPROVED AREAS.
- DO NOT WELD GALVANIZED COMPONENTS DIRECTLY TO THE TANK SURFACE. GRIND GALVANIZED SURFACES FREE OF GALVANIZING PRIOR TO WELDING. PREPARE EXISTING STRUCTURAL COMPONENT SURFACES WHERE WELDING IS TO BE PERFORMED IN ACCORDANCE WITH AWS CODES.
- USE ASTM A-36 CARBON STEEL FOR ALL STRUCTURAL STEEL. USE ASTM A-325 BOLTS UNLESS OTHERWISE SPECIFIED.
- COMPLY WITH APPLICABLE AWMA D-100, ASNI, ASTM STANDARDS, THE ACI, AISC, AND FEDERAL STATE AND LOCAL CODES. DURING CONSTRUCTION DESIGN AND FABRICATION.
- VERIFY FIELD CONDITIONS. FIELD FIT UP PROBLEMS OR CHANGES TO THE PLAN SHEETS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER. CONTRACTOR SHALL CONTACT WELDING INSPECTOR 48 HOURS PRIOR TO ACTUAL WELDING (LARRY SMITANA CWI SERVICES) 630-878-9502 OR T-MOBILE APPROVED OTHER.
- WELD CERTIFICATION SHALL BE PROVIDED TO WELDING INSPECTOR PRIOR TO WORK COMMENCEMENT.



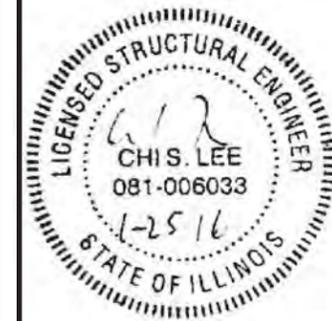
2 CABLE ROUTING DETAIL
SCALE: N.T.S.

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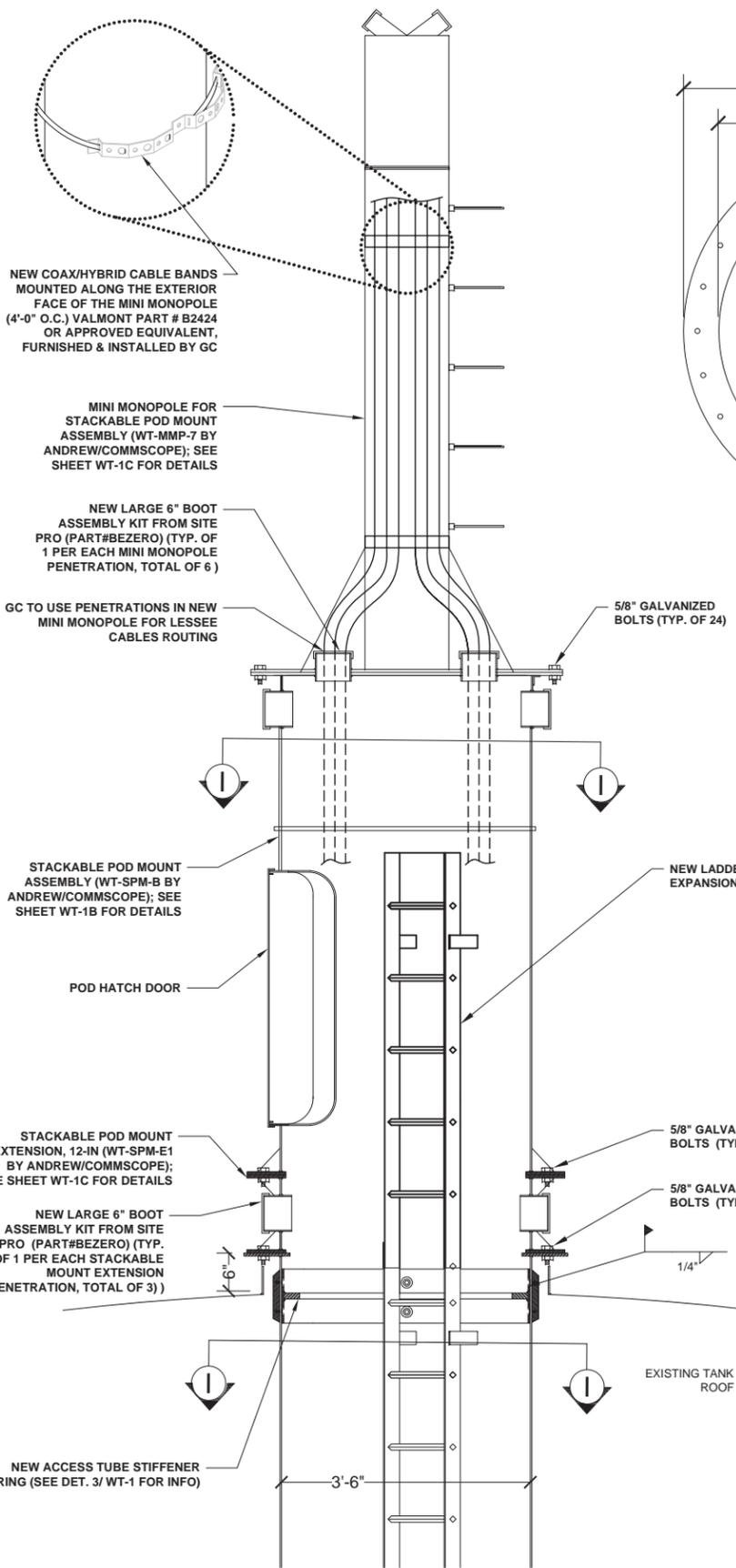
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 CHECKED BY: RH APPROVED BY: GMS



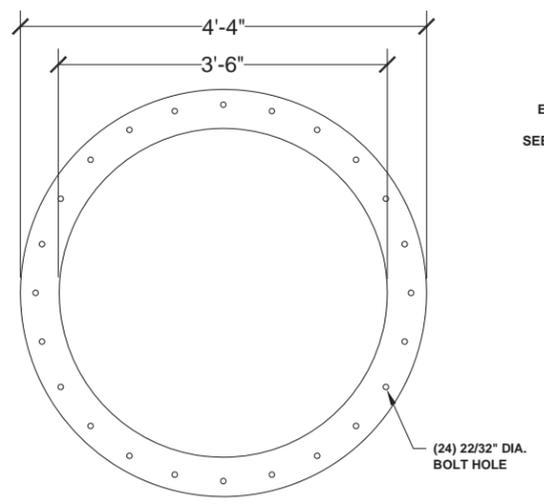
LOCATION # 288442
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SHEET TITLE:
STRUCTURAL DETAILS

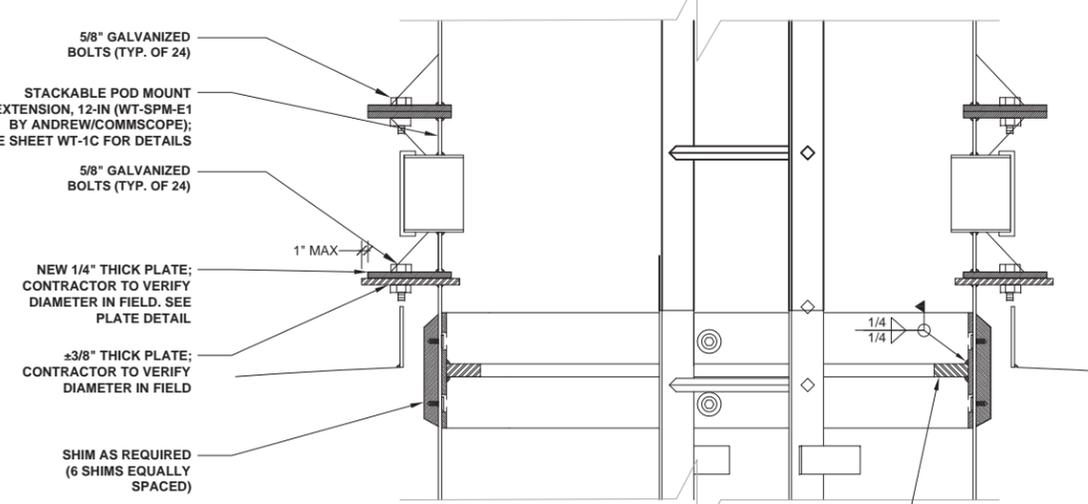
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S-9A



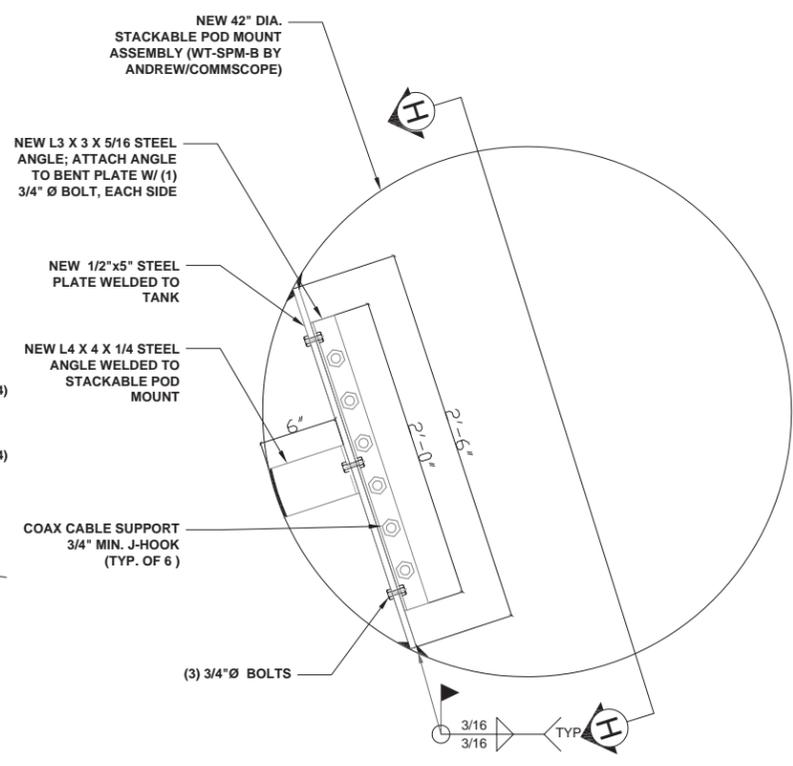
1 NEW WATER TOWER EXTENSION POD DETAIL
SCALE: N.T.S.



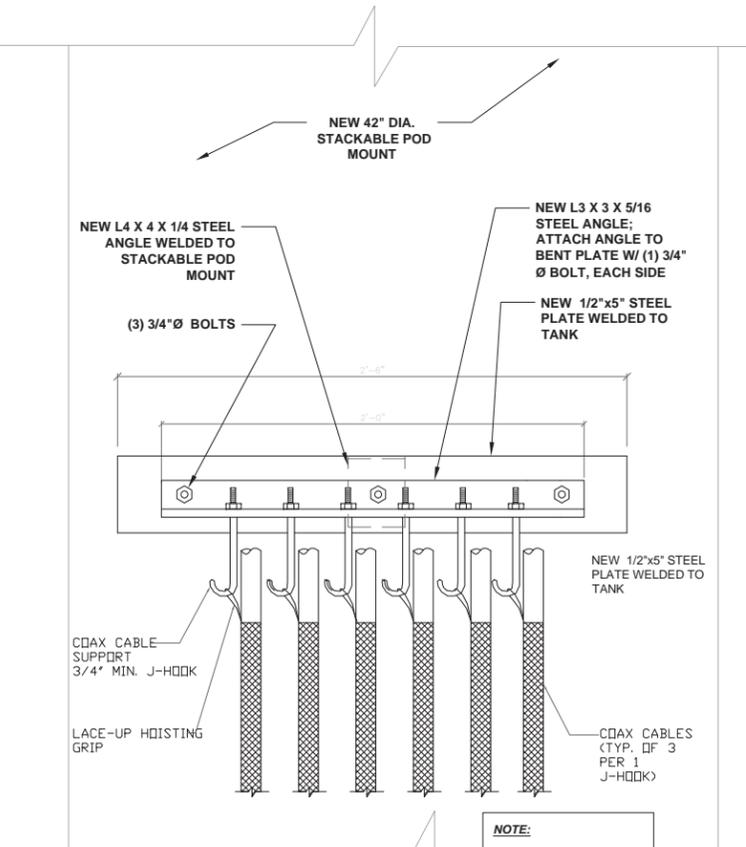
2 PLATE DETAIL
SCALE: N.T.S.



3 POD CONNECTION
SCALE: N.T.S.



4 J-HOOKS MOUNTING DETAIL SECTION I-I
SCALE: N.T.S.



5 SECTION H-H
SCALE: N.T.S.

NOTE:
(6) COAX CABLES HAVE BEEN SHOWN FOR CLARITY, CONTRACTOR SHALL HANG (12) COAX CABLES AND (1) HYBRID CABLE (7 HOOKS REQUIRED)

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LOCATION # 288442
STEPHENS PARK
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MOLINE, IL 61265

SHEET TITLE:
**ANTENNA POD MOUNTING
DETAILS**

SHEET NUMBER:
WT-1

INSTALLATION PROCEDURE FOR ANTENNA POD MOUNT

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION. CONTRACTOR IS REQUIRED TO FOLLOW ALL APPLICABLE CODES INCLUDING BUT NOT LIMITED TO LOCAL OR STATE BUILDING CODES, O.S.H.A. AND ANY LOCAL SAFETY CODES AND THOSE SAFETY ISSUES REQUIRED BY CUSTOMER AND LANDLORD. THE FOLLOWING STEPS ARE PROVIDED FOR REFERENCE AND EXPLANATION OF WORK SCOPE.

THE POD SHOULD BE COMPLETELY ASSEMBLED ON THE GROUND AT A STRATEGIC LOCATION FOR CRANE ACCESS TO THE ASSEMBLED POD AND THE CENTER OF THE TANK ASSEMBLY COULD ALSO INCLUDE THE INSTALLATION OF THE ANTENNAS AND JUMPERS. THE WEIGHT OF THE POD IS ROUGHLY 2200 POUNDS. IT IS EXTREMELY IMPORTANT THAT THE CRANE CAN REACH THE CENTER OF THE TANK WITH ENOUGH STICK TO CLEAR THE ROOF COMPLETELY. IF THE TANK IS IN SERVICE OR HAS WATER IN IT IT IS CONSIDERED ACTIVE AND THUS THE SHELL PLATES ARE STRESSED. THE ROOF OF MOST TANKS ARE DESIGNED FOR 200 POUNDS OF LOCAL LOADS AND CANNOT SUPPORT THE POD.

PRIOR TO LIFTING THE POD, THE TOP OF THE TANK SHOULD BE PREPARED FOR THE NEW POD. THE MANHOLE COVER TO THE ACCESS TUBE SHOULD BE REMOVED FROM THE TOP OF THE ACCESS TUBE. IF OTHER ITEMS LIKE AIRCRAFT WARNING LIGHTS OR ANTENNAS ARE LOCATED ON THE ACCESS COVER, THEY SHOULD BE REMOVED AS WELL. THE CONTRACTOR SHALL PROVIDE TEMPORARY AIRCRAFT WARNING LIGHTS DURING CONSTRUCTION.

CONTRACTOR SHALL INSPECT THE STRUCTURAL INTEGRITY OF THE WELD ATTACHMENT OF THE TOP PLATE OF THE ACCESS TUBE. THIS IS A CRITICAL CONNECTION THAT CANNOT BE INSPECTED UNTIL CONSTRUCTION COMMENCES. CONTRACTOR SHALL NOTIFY ENGINEER AT ONCE IF A SUBSTANDARD WELD IS FOUND.

THE CONTRACTOR SHALL MAKE A TEMPLATE OF THE TOP OF THE ACCESS TUBE IDENTIFYING ALL PERTINANT INFORMATION INCLUDING THE LOCATION OF THE MANHOLE, LOCATION OF THE PROPOSED COAX CABLE CUT OUT AND THE WARNING LIGHT CONDUIT IF REQUIRED. THE CONTRACTOR SHALL THEN TRANSFER THIS INFORMATION TO THE ADAPTER PLATE ON THE GROUND AND FIELD CUT THE PLATE AS NEEDED MANY MANHOLES ARE NOT CENTERED ABOVE THE ACCESS TUBE BUT ARE LOCATED OFF-CENTER ABOVE THE LADDER SIDE OF THE ACCESS TUBE. IT IS IMPORTANT THAT THE LOAD OF THE POD BE CENTERED ABOVE THE ACCESS TUBE. THE TEMPLATE SHOULD BE CUT TO FIT FLUSH TO THE SURFACE OF THE ACCESS TUBE. IF THE MANHOLE IS 24 INCHES IN DIAMETER THE TEMPLATE SHOULD BE CUT SLIGHTLY LARGER THAN THAT SO THE FILLET WELD TO THE MANHOLE CURB DOES NOT INTERFERE WITH THE FLUSH MOUNTING TO THE ACCESS TUBE.

THE ADAPTER PLATE WILL NEED TO BE RELOCATED AS PER THE ORIGINAL TANK MANUFACTURERS SPECIFICATIONS. THE PLATE MAY NOW BE INSTALLED ON THE TOP OF THE ACCESS TUBE PLATE. THE ACCESS TUBE PLATE WILL NEED TO BE FIELD DRILLED TO MATCH THE PRE-DRILLED HOLES IN THE ADAPTER PLATE. ALL FASTNERS SHALL BE 5/8" A-325 GALVANIZED. ON SOME TANKS THE WIRE SCREEN MESH WILL NEED TO BE REMOVED FOR ACCESS TO THE UNDERSIDE OF THE PLATE AND BOLTS. SOME TANKS WILL REQUIRE THE INSTALLATION OF SQUARE SHIMS BETWEEN THE DRY RISER AND THE ROOF CURB. THE ACCESS TUBE IS FIELD DRILLED AND THE SHIMS INSTALLED AS PER THE DETAIL BELOW.

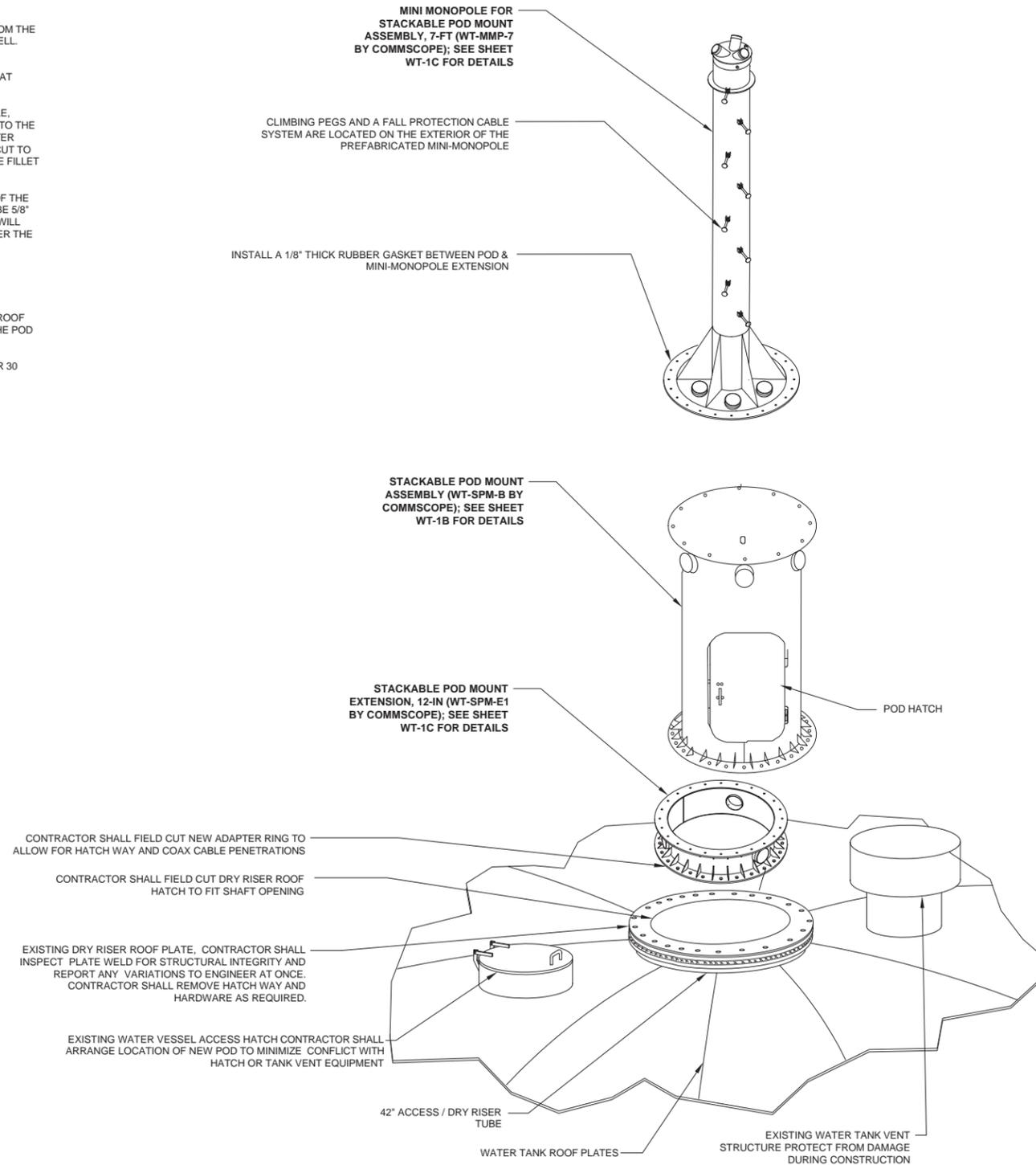
THE STIFFENER RING SHOULD NOW BE WELDED IN PLACE AT A LEVEL EQUAL TO THE TOP ROOF PLATES.

THE INSECT SCREENS SHOULD BE REINSTALLED AS REQUIRED.

THE POD CAN NOW BE LIFTED INTO PLACE THE POD DOOR SHOULD BE LOCATED TO ALLOW ACCESS TO THE TOP ACCESS HATCH WITHOUT INTERFERING WITH OTHER ROOF TOP VENTS OR ACCESS MANHOLES. THE POD DOOR SHOULD ALSO BE LOCATED LEFT OR RIGHT OF THE CLIMBING LADDER FOR EASIER ACCESS TO THE ROOF TOP. THE POD ADAPTER PLATE ALLOWS FOR POD ROTATION IN 30 DEGREE INCREMENTS FOR ADJUSTMENTS MADE ON TOP OF THE TANK.

ON THE MTS POD, THE POD ROOF PLATE CAN BE LOOSENED AND INFINITELY ADJUSTED FOR PROPER ANTENNA AZIMUTH ORIENTATION. THE FULTON POD ALLOWS FOR 30 DEGREE INCREMENTAL ADJUSTMENT.

ALL COAX CABLE CONNECTIONS SHOULD BE MADE AND EVERY PART OF THE POD SHOULD BE WEATHER SEALED APPROPRIATELY.



1 ANTENNA POD MOUNTING DETAIL AT WATER TANK ROOF
SCALE: N.T.S.

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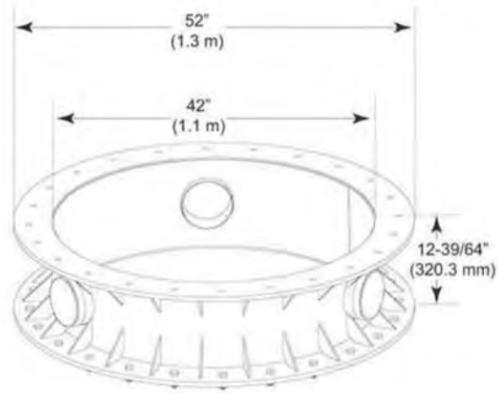
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CHECKED BY: RH	APPROVED BY: GMS



LOCATION # 288442
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SHEET TITLE:
**ANTENNA POD MOUNTING
DETAILS**

SHEET NUMBER:
WT-1A



Dimensions

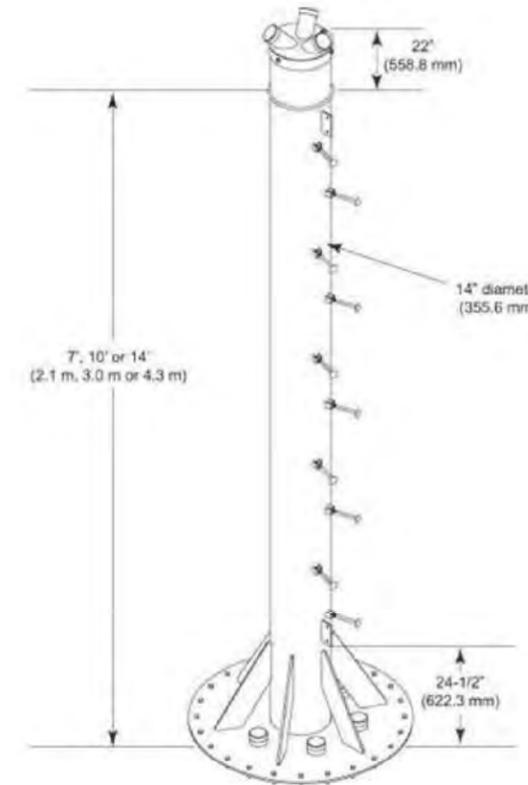
Pipe Outer Diameter	1066.8 mm		42 in
Compatible Diameter	1219.2 mm		48.0 in
Height	1320.8 mm		52.0 in
Length	304.8 mm		12.0 in
Weight	171.9 kg		379.0 lb
Width	1320.8 mm		52.0 in

General Specifications

Product Type	Stackable pod mount
Includes	Extension Hardware
Material Type	Hot dip galvanized steel
Mounting	Stackable pod mount
Package Quantity	1

WT-SPM-E1

Stackable Pod Mount Extension, 12 in



WT-MMP-7

Mini Monopole for Stackable Pod Mount Assembly

Dimensions

Pipe Outer Diameter	355.6 mm		14 in
Compatible Diameter	1219.2 mm		48.0 in
Height	1320.8 mm		52.0 in
Length	2133.6 mm		84.0 in
Weight	362.9 kg		800.1 lb
Width	1320.8 mm		52.0 in

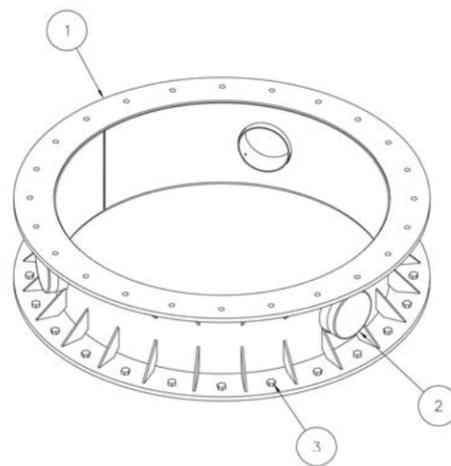
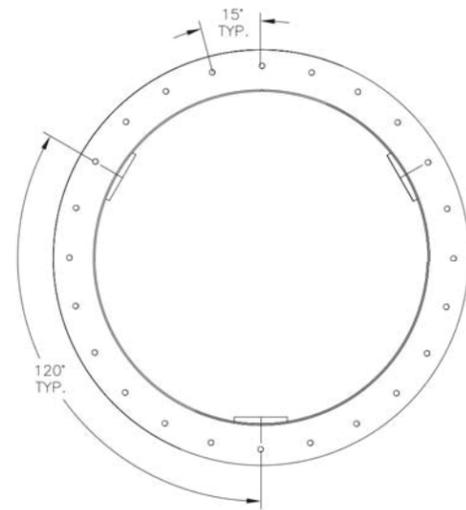
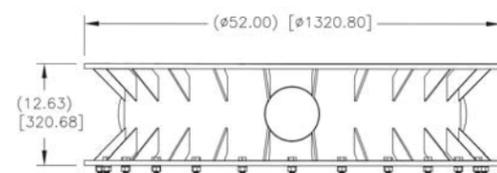
General Specifications

Product Type	Stackable pod mount
Pipe, quantity	0
Includes	Hardware Pole Safety-climb Step bolts
Material Type	Hot dip galvanized steel
Mounting	Stackable pod mount
Package Quantity	1

2 MINI MONOPOLE (WT-MMP-7 BY COMMSCOPE)
SCALE: N.T.S.

Parts List			
Item	Part No.	Description	Qty
1	WT-SPM-E1.05	POD EXTENSION WELDMENT	1
2	WT-SPM.36	ENTRY PORT CAP	3
3	GB-05165	5/8" X 1-3/4" GALV BOLT ASSY	24

REVISIONS				
REV.	ECO	DESCRIPTION	BY	DATE
A	MTW	INITIAL RELEASE	JTS	11/22/00
B	MTW	UPDATE PARTS LIST	ACG	08/13/02



NOTES:
1. ALL METRIC DIMENSIONS ARE IN BRACKETS.

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DATE	JTS	11/22/00	DRAWING NO.	WT-SPM-E1
ISSUED BY	JR	1 OF 1	TITLE	POD EXTENSION
REVISION	NTS		DRAWING TYPE	Assembly Drawing
SCALE	AS3, AS3		DATE	
MATERIAL	Galv A123		DR/LAND PARK, IL. 60462	
FINISH			U.S.A.	
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1 STACKABLE POD MOUNT EXTENSION (P/N# WT-SPM-E1 BY COMMSCOPE)
SCALE: N.T.S.

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CONCORDIA WIRELESS, INC.
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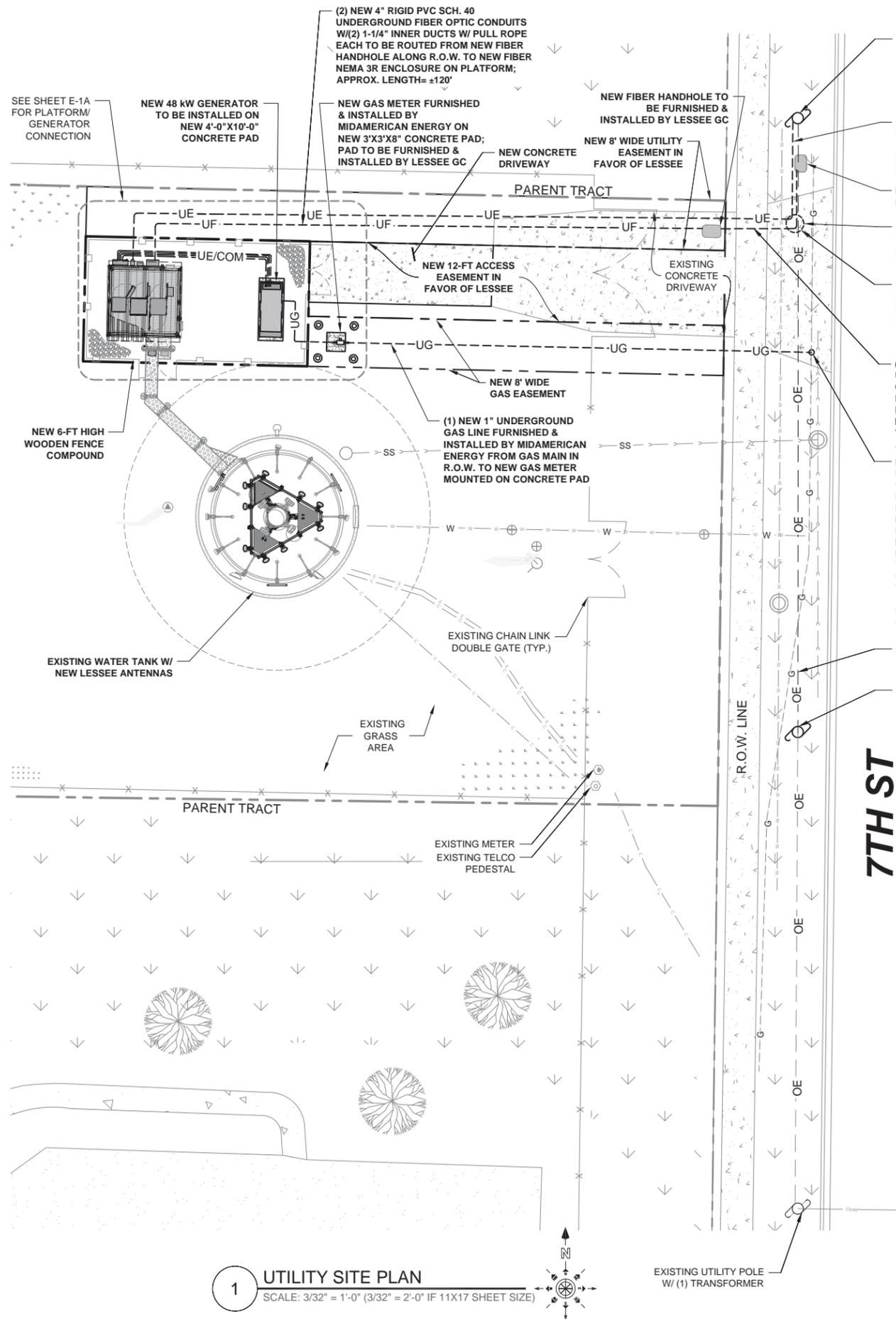
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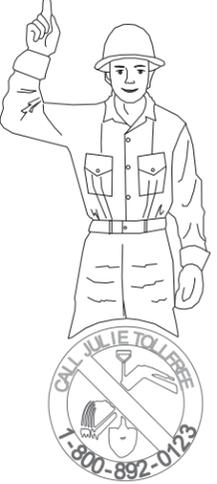
SHEET TITLE:
**ANTENNA POD EXTENSION
DETAILS & SPECIFICATION**

SHEET NUMBER:
WT-1C



1 UTILITY SITE PLAN
SCALE: 3/32" = 1'-0" (3/32" = 2'-0" IF 11X17 SHEET SIZE)

7TH ST



NOTE:
ELECTRICAL CONTRACTOR TO PROTECT ALL UNDERGROUND UTILITIES DURING CONSTRUCTION

SYMBOLS LEGEND:

- UE-- UNDERGROUND ELECTRICAL CONDUIT
- UF-- UNDERGROUND FIBER OPTIC CONDUIT
- G-- UNDERGROUND GAS LINE
- OE OVERHEAD ELECTRIC LINE
- C-- UNDERGROUND COMMUNICATION/ MONITORING LINE
- W-- UNDERGROUND WATER LINE
- (M) METER BASE
- ⊕ FUSED DISCONNECT SWITCH
- ⊗ NEW UTILITY POLE
- ⊗ EXISTING UTILITY POLE

SERVICE CONDUIT LENGTH

FIBER OPTIC NEW LESSEE FIBER HANDHOLE TO NEW PULL BOX ON EQUIPMENT PLATFORM	120' ±
FIBER OPTIC NEW LESSEE FIBER HANDHOLE TO NEW FIBER HANDHOLE ALONG R.O.W.	32' ±
ELECTRIC NEW UTILITY POLE TO NEW METER	159' ±

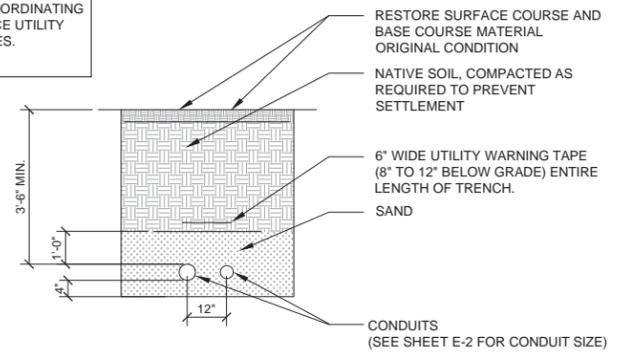
NOTE:
* THE CONDUIT LENGTH GIVEN IS BASED ON THE DRAWING +15% THE EXACT LENGTH TO BE VERIFIED IN FIELD. ELECTRICAL CONTRACTOR TO VERIFY LENGTHS AFTER COORDINATING W/ SERVICE UTILITY COMPANIES.

NOTES ON FIBER & POWER COORDINATION

ROUTING SHOWN IS BASED ON ASSUMPTIONS MADE FROM VISUAL FIELD OBSERVATIONS OF EXISTING POLES & TRANSFORMERS. THESE PLANS MAY OR MAY NOT REFLECT AND/OR CONTAIN THE FINAL SCENARIO FOR POWER OR FIBER ROUTING. THE ELECTRICAL DESIGN SHOWN IS FOR PERMITTING PURPOSES ONLY AND IS NOT FOR CONSTRUCTION. ADDITIONAL TRANSFORMERS MAY BE REQUIRED. LONGER LEAD TIMES MAY BE POSSIBLE. CONCORDIA IS NOT RESPONSIBLE FOR CODE COMPLIANCE OR COMPLIANCE WITH POWER CODE. ELECTRICIAN IS REQUIRED TO CONFIRM COMPLIANCE OF SITE WITH LOCAL, COUNTY, STATE AND/OR NATIONAL ELECTRICAL CODES. THE MOST RESTRICTIVE OF SUCH CODES SHALL GOVERN AND BE APPLICABLE. THE DESIGN SHOWN ON THESE PLANS IS SUBJECT TO VERIFICATION AND APPROVAL BY VERIZON AND THE ELECTRICAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING FINAL SCENARIO & CODE COMPLIANCE & IS RESPONSIBLE FOR COORDINATING WITH VERIZON'S POWER COORDINATOR. ELECTRICAL CONTRACTOR SHALL BID ON THESE PLANS USING THE WORST CASE SCENARIO.

BIDDING & CONSTRUCTION NOTE:

WIRE SIZES SHOWN ARE ESTIMATED MINIMUMS. IT IS THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO IDENTIFY AND COMPLY WITH THE APPLICABLE LOCAL ELECTRICAL AND BUILDING CODES IN ADDITION TO NEC 2014 AND FOLLOW WHICHEVER IS MORE CONSERVATIVE. CONTRACTOR SHALL ESTIMATE PHASE CONDUCTOR SIZE & UTILIZE THE APPROPRIATE WIRE SIZE AND TYPE ASSUMING A 2% VOLTAGE DROP. CONTRACTOR TO CONFIRM WITH LOCAL ELECTRICAL INSPECTOR PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF DISCREPANCIES PRIOR TO CONSTRUCTION START.



2 UTILITY CONDUITS TRENCH DETAIL
SCALE: N.T.S.

GENERAL ELECTRICAL NOTES

- 1.) NATIONAL ELECTRIC CODE, LATEST EDITION.
- 2.) ALL ELECTRICAL MATERIALS, EQUIPMENT AND INSTALLATION PROCEDURES TO CONFORM WITH LOCAL JURISDICTION REQUIREMENTS.
- 3.) ELECTRICAL CONTRACTOR SHALL PERFORM ALL VERIFICATION TESTS AND EXAMINATION WORK PRIOR TO THE ORDERING OF THE ELECTRICAL EQUIPMENT AND THE ACTUAL CONSTRUCTION. ELECTRICAL CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ENGINEER LISTING ALL MALFUNCTIONS, FAULTY EQUIPMENT & DISCREPANCIES.
- 4.) ELECTRICAL PLANS, DETAILS, AND DIAGRAMS ARE DIAGRAMMATIC ONLY. FIELD CONDITIONS DICTATE THE AMOUNT AND LOCATION OF EQUIPMENT.
- 5.) ALL MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, NFPA, AND "UL" LISTED.
- 6.) THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY UBC, NEC, LESSEE, AND ALL APPLICABLE LOCAL CODES.
- 7.) ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE A MINIMUM INTERRUPTING RATING OF 20,000 AIC WHERE APPLICABLE.
- 8.) PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
- 9.) PROVIDE LESSEE WITH ONE SET OF COMPLETE ELECTRICAL "AS-BUILT" DRAWINGS AT THE COMPLETION OF THE JOB SHOWING ACTUAL ROUTINGS AND WIRING CONNECTIONS.
- 10.) LABEL ALL ELECTRICAL EQUIPMENT PER LESSEE SPECIFICATIONS.
- 11.) ALL SINGLE-PHASE SELF-CONTAINED METER CONNECTION DEVICES MUST INCLUDE HORN TYPE BY-PASS PROVISION SO THAT SERVICE WILL NOT BE INTERRUPTED WHEN A METER IS REMOVED FROM THE SOCKET.
- 12.) ALL ABOVE GROUND CONDUITS AND BUSHING SHALL BE RGS.

ABBREVIATIONS

- AIC AMPS INTERRUPTING CAPACITY
- AWG AMERICAN WIRE GAUGE
- BCW BARE COPPER WIRE
- C CONDUIT
- CAB CABINET
- DISC DISCONNECT SWITCH
- DWG DRAWING
- ELEC ELECTRICAL
- EMT ELECTRICAL METALLIC TUBING
- GEN GENERATOR
- GND GROUND
- GPS GLOBAL POSITIONING SYSTEM
- OH OVERHEAD
- PCS PERSONAL COMMUNICATION SYSTEM
- RGS RIGID GALVANIZED STEEL
- TYP TYPICAL
- UG UNDERGROUND GAS
- UW UNDERGROUND WATER
- SS STORM SEWER

CODES AND STANDARDS

- NEC NATIONAL ELECTRICAL CODE
- ANSI AMERICAN NATIONAL STANDARDS INSTITUTE
- NEMA NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
- NFPA NATIONAL FIRE PROTECTION ASSOCIATION
- UL UNDERWRITERS LABORATORIES, INC.
- IBC INTERNATIONAL BUILDING CODE
- BOCA BUILDING OFFICIAL AND CODE ADMINISTRATORS
- IEEE INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS
- ASTM AMERICAN SOCIETY FOR TESTING MATERIALS

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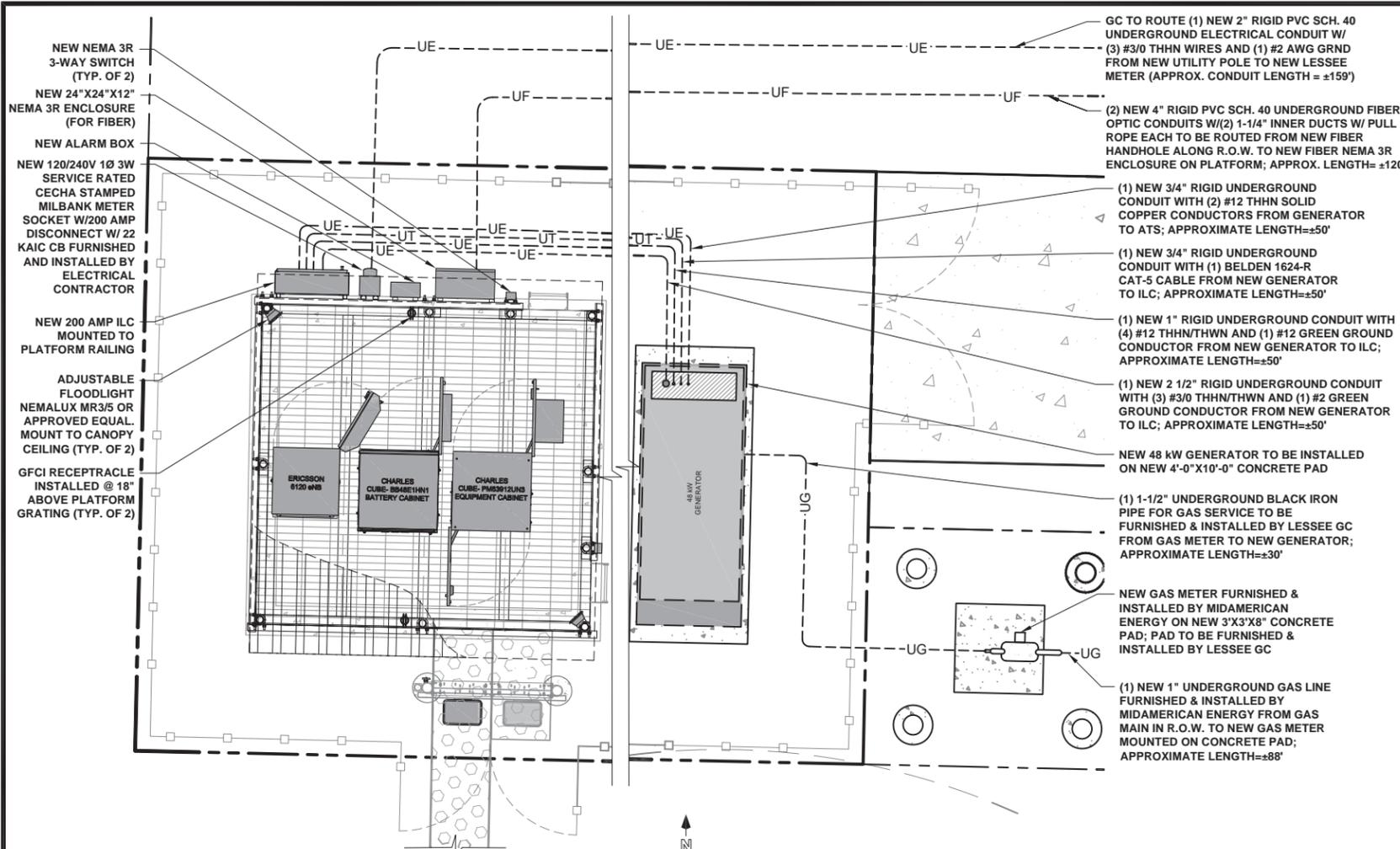
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LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
UTILITY SITE PLAN

SHEET NUMBER:
E-1



1 ENLARGED UTILITY SITE PLAN
SCALE: 3/32" = 1'-0" (3/32" = 2'-0" IF 11X17 SHEET SIZE)

SYMBOLS LEGEND:

--UE--	UNDERGROUND ELECTRICAL CONDUIT
--UF--	UNDERGROUND FIBER OPTIC CONDUIT
--G--	UNDERGROUND GAS LINE
OE	OVERHEAD ELECTRIC LINE
--C--	UNDERGROUND COMMUNICATION/ MONITORING LINE
--W--	UNDERGROUND WATER LINE
(M)	METER BASE
(F)	FUSED DISCONNECT SWITCH
(X)	NEW UTILITY POLE
(X)	EXISTING UTILITY POLE

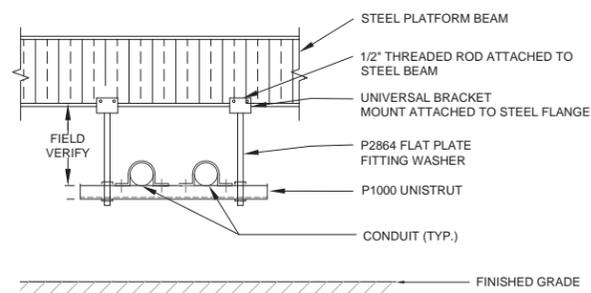
SERVICE CONDUIT LENGTH

FIBER OPTIC NEW LESSEE FIBER HANDHOLE TO NEW PULL BOX ON EQUIPMENT PLATFORM	120' ±	NOTE: * THE CONDUIT LENGTH GIVEN IS BASED ON THE DRAWING +15% THE EXACT LENGTH TO BE VERIFIED IN FIELD. ELECTRICAL CONTRACTOR TO VERIFY LENGTHS AFTER COORDINATING W/ SERVICE UTILITY COMPANIES.
FIBER OPTIC NEW LESSEE FIBER HANDHOLE TO NEW FIBER HANDHOLE ALONG R.O.W.	32' ±	
ELECTRIC NEW UTILITY POLE TO NEW METER	159' ±	

BIDDING & CONSTRUCTION NOTE:
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IMPORTANT NOTE:
1. LESSEE IS RESPONSIBLE FOR REGULATING NATURAL GAS PRESSURE AT THE FACILITY
2. LESSEE TO CONDUCT ALL PURGING OPERATIONS THAT WILL NEED TO TAKE PLACE IN ACCORDANCE WITH THE NATIONAL FUEL GAS CODE NFPA 54, REFERENCE 8.3
3. IT IS THE RESPONSIBILITY OF LESSEE TO REGULATE OR CONNECT ANY APPLIANCE REGULATORS ON LESSEE'S INTERNAL PIPING

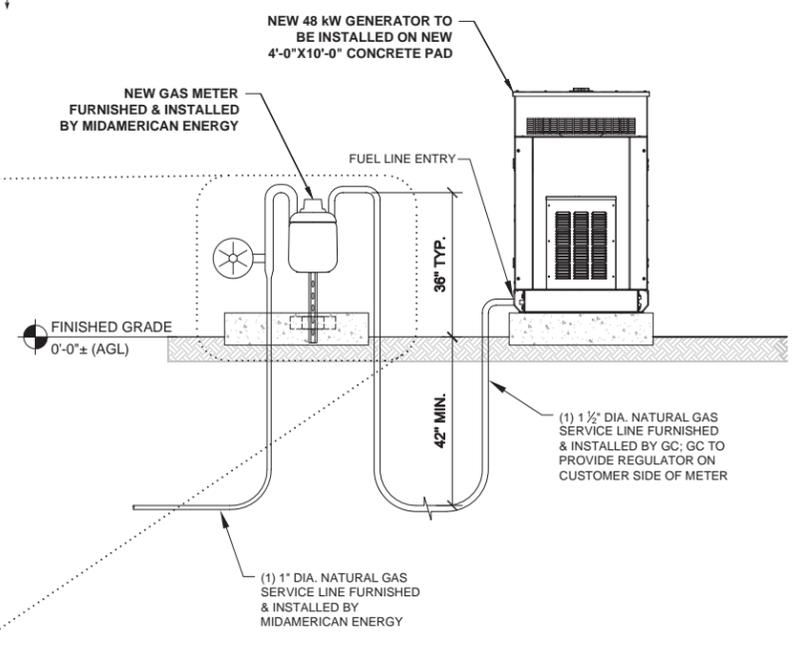
NOTES ON FIBER & POWER COORDINATION
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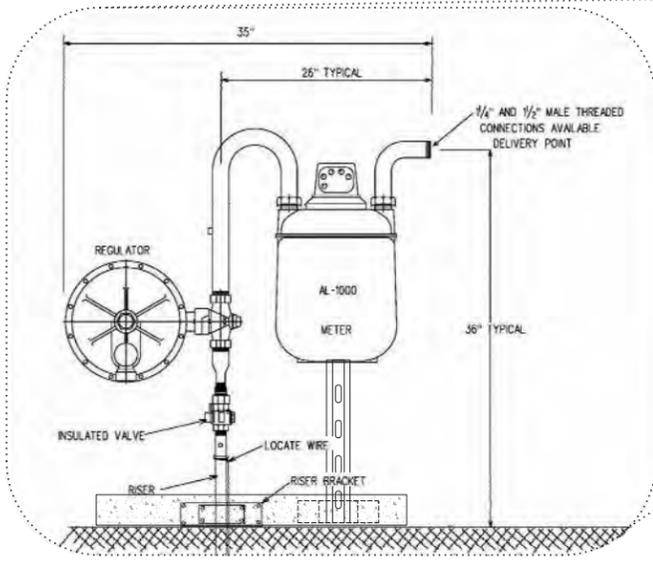
3 UTILITY CONDUIT ROUTING
SCALE: N.T.S.

NOTE:
NEW GAS PRESSURE REGULATOR TO BE FURNISHED & INSTALLED ON CUSTOMER SIDE OF SERVICE BY LESSEE GC; REGULATOR TO BE CAPABLE OF OPERATION AT FIVE PSI PRESSURE ABOVE PROVIDED DELIVERED PRESSURE - COORDINATE WITH MIDAMERICAN ENERGY

NOTES:
1.) ELECTRICAL CONTRACTOR TO VERIFY LOCAL UTILITY REQUIREMENTS FOR DEPTH, SIZE & SEPARATION OF CONDUITS PRIOR TO INSTALLATION. NOTIFY CONSTRUCTION MANAGER IMMEDIATELY OF ANY DISCREPANCIES.
2.) ELECTRICAL CONTRACTOR TO CALL UTILITY LOCATES 48 HRS PRIOR TO EXCAVATING FOR UNDERGROUND UTILITY LOCATIONS. LOCATION SURROUNDING EXCAVATED AREA MUST BE PRIVATELY LOCATED FOR NON-PUBLIC UTILITIES.
3.) ALL ABOVE GRADE CONDUIT SHALL BE RIGID STEEL. CONSULT WITH LOCAL ELECTRICAL CODE.



2 GAS SERVICE DETAIL
SCALE: N.T.S.



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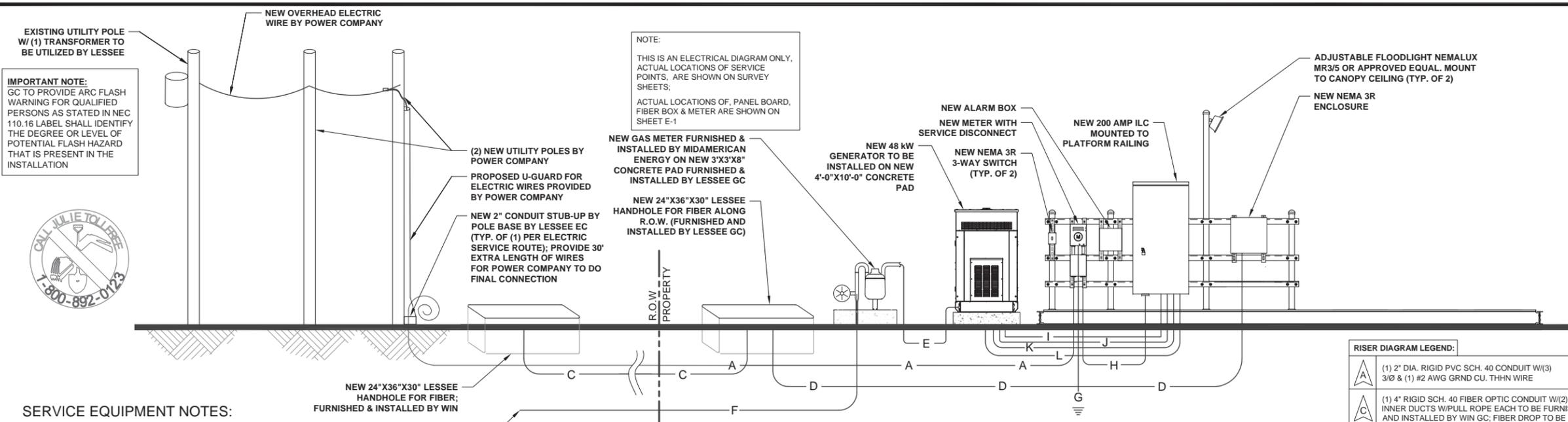
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GHAZWAN M. SADAT
062-061844
LICENSED PROFESSIONAL ENGINEER OF ILLINOIS
G. Y. Sadat

LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
ENLARGED UTILITY SITE PLAN

SHEET NUMBER:
E-1A



IMPORTANT NOTE:
GC TO PROVIDE ARC FLASH WARNING FOR QUALIFIED PERSONS AS STATED IN NEC 110.16 LABEL SHALL IDENTIFY THE DEGREE OR LEVEL OF POTENTIAL FLASH HAZARD THAT IS PRESENT IN THE INSTALLATION

NOTE:
THIS IS AN ELECTRICAL DIAGRAM ONLY, ACTUAL LOCATIONS OF SERVICE POINTS, ARE SHOWN ON SURVEY SHEETS.
ACTUAL LOCATIONS OF, PANEL BOARD, FIBER BOX & METER ARE SHOWN ON SHEET E-1

ADJUSTABLE FLOODLIGHT NEMALUX MR3/5 OR APPROVED EQUAL, MOUNT TO CANOPY CEILING (TYP. OF 2)

ELECTRICAL SERVICE: 120/240 VAC 200 AMP SINGLE PHASE - 3 WIRES

1 ELECTRIC & FIBER SINGLE-LINE DIAGRAM
SCALE: N.T.S.

UTILITY CONTACT:
POWER: MIDAMERICAN ENERGY COMPANY
CONTACT: CHAD VERYZER (309) 793-3759

FIBER: WIN
CONTACT: DAN MATSON (608) 347-2148

NATURAL GAS: MIDAMERICAN ENERGY COMPANY
CONTACT: DEWEY SCHULDT (309) 793-3639

CONDUIT MATERIAL SCHEDULE:
UNLESS NOTED OTHERWISE, ALL CONDUIT RUNS SHALL CONFORM TO THE FOLLOWING:
1.) ALL ABOVE GRADE, EXTERIOR CONDUITS SHALL BE RGS.
2.) ALL BELOW GRADE HORIZONTAL CONDUITS SHALL BE PVC
3.) ALL BELOW GRADE 3" Ø & 45" BENDS SHALL BE STEEL W/THREADED CONNECTIONS.
4.) ALL BELOW GRADE TO ABOVE GRADE RISERS SHALL BE STEEL W/THREADED CONNECTIONS.
5.) SEAL TIGHT FLEXIBLE CONDUIT MAY BE USED WHERE CODE PERMITS.

ATTENTION ELECTRICAL CONTRACTOR:
1.) ELECTRICAL CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR CONNECTION OF TEMPORARY AND PERMANENT POWER TO THE SITE. THE TEMPORARY POWER AND ALL HOOKUP COSTS TO BE PAID BY ELECTRICAL CONTRACTOR.
2.) ELECTRICAL CONTRACTOR TO VERIFY LOCAL UTILITY REQUIREMENTS FOR DEPTH, TYPE, SIZE & SEPARATION OF CONDUIT PRIOR TO INSTALLATION. NOTIFY CONSTRUCTION MANAGER IMMEDIATELY OF ANY DISCREPANCIES
3.) ELECTRICAL CONTRACTOR TO CALL UTILITY LOCATE HOTLINE 48 HRS. PRIOR TO EXCAVATING FOR UNDERGROUND UTILITY LOCATIONS. SURROUNDING EXCAVATED AREA MUST BE PRIVATELY LOCATED FOR NONPUBLIC UTILITIES.
4.) ALL ABOVE GRADE OR WEATHER EXPOSED CONDUITS SHALL BE OF RIGID GALVANIZED CONDUIT!
5.) ANY CONDUITS LOCATED UNDER NEW OR EXISTING TRAFFIC AREAS SHALL BE MINIMUM SCH.80 CONDUIT.

NOTES ON FIBER & POWER COORDINATION
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RISER DIAGRAM LEGEND:

A	(1) 2" DIA. RIGID PVC SCH. 40 CONDUIT W/(3) 3/Ø & (1) #2 AWG GRND CU. THHN WIRE
C	(1) 4" RIGID SCH. 40 FIBER OPTIC CONDUIT W/(2) 1-1/4" INNER DUCTS W/PULL ROPE EACH TO BE FURNISHED AND INSTALLED BY WIN GC; FIBER DROP TO BE PROVIDED BY WIN
D	(2) 4" RIGID SCH. 40 FIBER OPTIC CONDUITS W/(2) 1-1/4" INNER DUCTS W/PULL ROPE EACH FURNISHED AND INSTALLED BY LESSEE GC; FIBER DROP TO BE PROVIDED BY WIN
E	(1) 1 1/2" BLACK IRON PIPE FOR GAS SERVICE TO BE PROVIDED BY LESSEE GC
F	(1) 1" CONDUIT FOR GAS SERVICE TO BE PROVIDED BY MIDAMERICAN ENERGY
G	(1) 1/2" CONDUIT W/ #2 AWG SERVICE GROUND; GROUND ROD TO BE PLACED 50' BELOW GRADE
H	(1) 2" DIA. RIGID PVC SCH. 40 CONDUIT W/ (3) 3/Ø & (1) #2 AWG GRND CU. THHN WIRE
I	(1) 3/4" DIA. RIGID CONDUIT W/(2) BELDEN 1624-R CAT-5 CABLE FROM GENERATOR TO ILC
J	(1) 1" DIA. RIGID CONDUIT W/(4) #12 THHN/ THWN & (1) #12 GREEN GROUND FROM ILC ON PLATFORM TO GENERATOR (FOR BATTERY CHARGER AND BLOCK HEATER)
K	(1) 2 1/2" RIGID CONDUIT W/(3) #3/Ø THHN/ THWN & (1) #2 GREEN GROUND CONDUCTORS FROM GENERATOR TO ILC
L	(1) 3/4" DIA. RIGID CONDUIT W/(2) #12 THHN SOLID COPPER CONDUCTORS FROM GENERATOR TO AUTOMATIC TRANSFER SWITCH

MATERIALS NOTES:

A	ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING & VERIFYING THE TYPE OF ELECTRICAL SERVICE AS WELL AS THE ACTUAL CONDUIT DISTANCE TO SERVICE POINT -- ELECTRICAL CONTRACTOR TO NOTIFY ENGINEER OF DISCREPANCIES IMMEDIATELY -- OTHERWISE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR SIZING PHASE CONDUCTORS FROM THE SERVICE POINT TO LOAD CENTER IN ORDER TO COMPLY WITH THE LOCAL BUILDING/ELECTRICAL CODE AS WELL AS THE NEC AND UTILITY COMPANY REQUIREMENTS
C	ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING & VERIFYING SERVICE CONNECTION POINT AND FIBER DEMARC INSTALLATION
E	INTERNAL NATURAL GAS PIPING (CUSTOMER SIDE) TO BE SIZED PER GENERATOR SPECIFICATIONS BASE ON PROVIDED GAS PRESSURE AND GENERATOR MANUFACTURER'S RECOMMENDATIONS
F	GAS SERVICE CONNECT TO BE PROVIDED BY NATURAL GAS SERVICE PROVIDER
G	ELECTRICAL CONTRACTOR TO FURNISH & INSTALL NEW SERVICE GROUND @ METER LOCATION IN COMPLIANCE WITH LOCAL ELECTRICAL, NEC & ELECTRICAL UTILITY REQUIREMENTS. ELECTRICAL CONTRACTOR SHALL AT A MINIMUM INSTALL #6 AWG GROUND WIRE CONNECTED TO A NEW 5/8" COPPER CLAD GROUND ROD
H	ROUTE RIGID SCH. 40 CONDUIT FROM THE PANEL BOARD TO METER

- SERVICE EQUIPMENT NOTES:**
- SERVICE EQUIPMENT SHALL HAVE A SHORT CIRCUIT TO WITHSTAND RATING THAT IS EQUAL TO OR EXCEEDS THE MAXIMUM AVAILABLE FAULT CURRENT AT THE SUPPLY TERMINAL. THE INSTALLATION SHALL BE FREE FROM ANY SHORT CIRCUITS AND GROUNDS.
 - ALL ELECTRICAL EQUIPMENT SHALL BE ANCHORED TO WITHSTAND 80 M.P.H. WIND SPEED, EXPOSURE C.
 - ALL ELECTRICAL EQUIPMENT SHALL BE LABELED WITH PERMANENT ENGRAVED PLASTIC LABELS.
 - PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF ELECTRICAL WORK.
- CONDUCTOR NOTES:**
- ALL CONDUCTORS SHALL BE COPPER
 - ALL WIRING SHALL BE COPPER WITH THHN/THWN DUAL RATED 600 VOLTS INSULATION.
 - CONDUCTORS SHALL BE 12 AWG MINIMUM UNLESS SPECIFICALLY NOTED OTHERWISE.
 - GROUNDING CONDUCTORS SHALL BE SOLID TINNED COPPER UNLESS OTHERWISE NOTED.



EXISTING UTILITY POLE VIEW

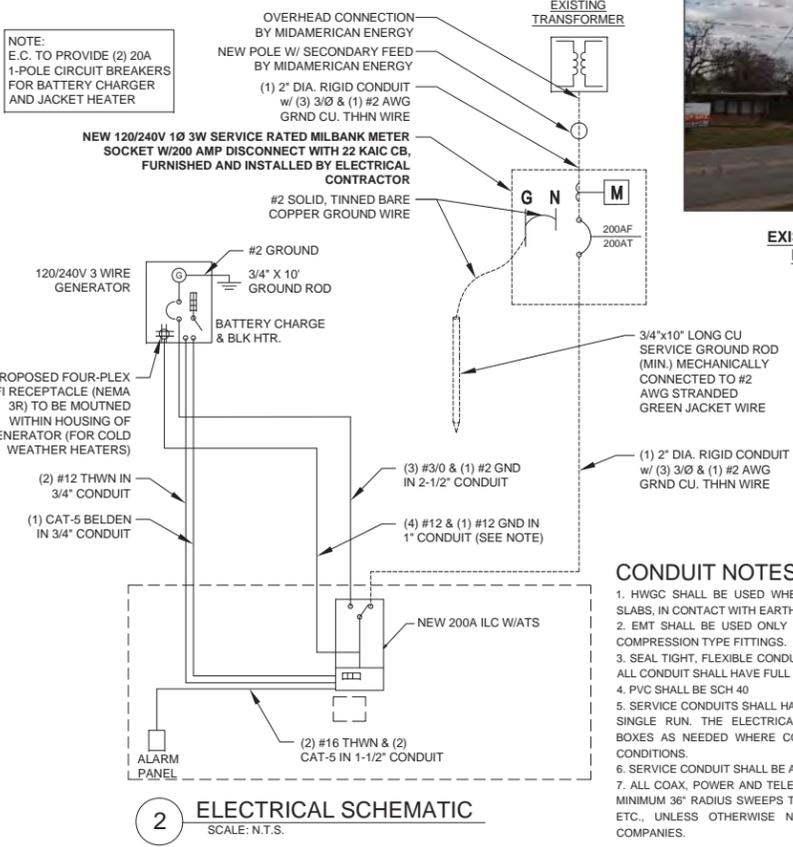
NOTE:
GC IS REQUIRED TO INSTALL A 4-WAY RECEPTACLE INSTEAD OF THE 2-WAY RECEPTACLE PROVIDED WITH THE GENERATOR TO ACCOMMODATE THE REQUIRED COLD WEATHER KIT ON OUTDOOR GENERATORS.

- NOTES:**
- IT SHALL BE THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROPERTY OWNER & NECESSARY UTILITY COMPANIES FOR THE LOCATION OF ALL EXISTING BELOW GRADE UTILITIES PRIOR TO BEGINNING CONSTRUCTION SHALL BE RESPONSIBLE FOR ANY DAMAGE COSTS ASSOCIATED WITH EXISTING BELOW GRADE UTILITIES.
 - ELECTRICAL CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR CONNECTION OF TEMPORARY AND PERMANENT POWER TO THE SITE. ELECTRICAL CONTRACTOR SHALL INCLUDE IN THE BID ANY EXCESS FACILITY CHARGES ASSOCIATED W/ PROVIDING ELECTRICAL SERVICE FROM LOCAL UTILITY COMPANY
 - ELECTRICAL CONTRACTOR TO VERIFY LOCAL UTILITY REQUIREMENTS FOR DEPTH, SIZE & SEPARATION OF CONDUIT PRIOR TO INSTALLATION. NOTIFY CONSTRUCTION MANAGER IMMEDIATELY OF ANY DISCREPANCIES
 - ELECTRICAL CONTRACTOR TO CALL J.U.L.I.E. (800) 892-0123 48 HRS. PRIOR TO EXCAVATING FOR UNDERGROUND UTILITY LOCATIONS. SURROUNDING EXCAVATED AREA MUST BE PRIVATELY LOCATED FOR NONPUBLIC UTILITIES.

- NOTES:**
- ALL CONDUITS & CONDUCTORS FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
 - SEE SINGLE-LINE DIAGRAM FOR UTILITY CONDUITS & CONDUCTOR SIZES.
 - ALL UTILITY LOCATIONS AND CONNECTIONS TO BE VERIFIED WITH LESSEE REPRESENTATIVE.

UTILITY COORDINATION NOTES:

- PROVIDE POWER AND TELEPHONE TO SERVICE POINTS PER UTILITY COMPANY REQUIREMENTS. ELECTRICAL CONTRACTOR SHALL CONTACT UTILITY SERVICE PLANNERS AND OBTAIN ALL SERVICE REQUIREMENTS AND INCLUDE COSTS FOR SUCH IN HIS BID.
- PROVIDE DAILY UPDATES TO PM UNTIL FINAL ELECTRICAL SERVICE IS EFFECTED.



2 ELECTRICAL SCHEMATIC
SCALE: N.T.S.

- CONDUIT NOTES:**
- HWG SHALL BE USED WHEN INSTALLED IN OR UNDER CONCRETE SLABS, IN CONTACT WITH EARTH, OR EXPOSED ABOVE GRADE.
 - EMT SHALL BE USED ONLY FOR INTERIORS RUNS AND SHALL HAVE COMPRESSION TYPE FITTINGS.
 - SEAL TIGHT, FLEXIBLE CONDUIT MAY BE USED WHERE CODE PERMITS. ALL CONDUIT SHALL HAVE FULL SIZE EQUIPMENT GROUND WIRE.
 - PVC SHALL BE SCH 40
 - SERVICE CONDUITS SHALL HAVE NO MORE THAN (3) -90° BENDS IN ANY SINGLE RUN. THE ELECTRICAL CONTRACTOR SHALL PROVIDE PULL BOXES AS NEEDED WHERE CONDUIT REQUIREMENTS EXCEED THESE CONDITIONS.
 - SERVICE CONDUIT SHALL BE AT A MINIMUM DEPTH OF 42".
 - ALL COAX, POWER AND TELEPHONE SYSTEM CONDUIT SHALL HAVE A MINIMUM 36" RADIUS SWEEPS TO EQUIPMENT, PULL BOXES, MONOPOLE, ETC., UNLESS OTHERWISE NOTED, OR AS REQUIRED BY UTILITY COMPANIES.

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SHEET TITLE:
UTILITY DETAILS

SHEET NUMBER:
E-2

RECOMMENDED ELECTRICAL STUB-UPS (SEE PLAN VIEW & DETAILED VIEW)

(HIGH VOLTAGE STUB UP) 1. AC LOAD LEAD CONDUIT AREA. 2. 120/240 VAC FROM UTILITY FOR OPTIONAL LOADS SUCH AS GFCI OUTLET, BLOCK HEATER, BATTERY CHARGER, AND OTHER 120/240 VAC OPTIONS. (GLAND PLATE INCLUDED)	
(LOW VOLTAGE STUB UP) 1. TRANSFER SWITCH COMMUNICATIONS CONDUITS, COMMUNICATIONS AND 2. WIRE START MUST NOT BE RUN IN CONDUIT W/AC WIRING	

- NOTE:
- CONTROL PANEL, (OPTIONAL BATTERY CHARGER INSIDE)
 - 120V, 20A GFCI & 250V, 15A OUTLET (OPTIONAL)
 - CONNECTION POINTS FOR CONTROL WIRES PROVIDED IN THE LOW VOLTAGE CONNECTION BOX (USE LOW VOLTAGE STUB-UP AREA)
 - BATTERY (12 VOLT NEGATIVE GROUND SYSTEM)
 - MAIN LINE CIRCUIT BREAKER (MLCB), AC LOAD LEADS CONNECT DIRECTLY TO MLCB. (MLCB HEIGHT MAY VARY WITH CB SELECTION)
 - CENTER OF GRAVITY MAY SHIFT SLIGHTLY DUE TO UNIT OPTIONS
 - DOORS MUST BE ABLE TO OPEN AT LEAST 90° TO BE REMOVED
 - ENGINE SERVICE CONNECTIONS:
INLET LP GAS = 1-1/4" NPT COUPLING
INLET LP LIQUID = 1/4" NPT COUPLING
INLET NATURAL GAS = 1-1/4" NPT COUPLING
OIL DRAIN = 1/2" NPT COUPLING
EXHAUST OUTLET = 3.0" I.D.
 - AUXILIARY AC CONNECTION FOR UNIT OPTIONS ARE LOCATED IN HIGH VOLTAGE CONNECTION BOX, UNLESS AN OPTIONAL LOAD CENTER IS INSTALLED
 - EPA AIR QUALITY REGULATIONS REQUIRED THE CATALYST TO REMAIN MOUNTED IN THE FACTORY INSTALLED POSITION OR WITHIN THE SPECIFIED MOUNTING POSITION DETAILED ON THIS DRAWING UNDER PENALTY OF FEDERAL LAW
 - BLOCK HEATER
 - BOTTOM OF GENERATOR SET MUST BE CLOSED TO PREVENT PEST INTRUSION AND RECIRCULATION OF DISCHARGE AIR AND/OR IMPROPER COOLING AIR FLOW.
 - GENERATOR SET MUST BE INSTALLED SUCH THAT DISCHARGE AIR IS NOT RECIRCULATED.
 - CIRCUIT BREAKER
-AC LOAD LEADS CONNECT DIRECTLY TO BOTTOM OF BREAKER.
-REFER TO LUG SIZING CHART AVAILABLE ON GEN-CONNECT.

CONCRETE PAD CONSTRUCTION NOTES

- ALL REBAR (HORIZONTAL & VERTICAL) SHALL BE SECURELY WIRE TIED TO PREVENT DISPLACEMENT DURING POURING OF CONCRETE.
- CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI.
- REINFORCED CONCRETE CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH ACI STANDARDS 318.
- MINIMUM CONCRETE COVER OVER REBAR IS 1 1/4".
- REINFORCING MATERIAL SHALL BE IN ACCORDANCE WITH ASTM SPECIFICATION A615-85.

CONCRETE PAD AND EMBEDMENT TOLERANCES

- EMBEDMENTS: PLUS OR MINUS 1/16".
- CONCRETE DIMENSIONS: PLUS OR MINUS 1/4".
- REINFORCING STEEL PLACEMENT: PLUS OR MINUS 1/4" INCLUDING CONCRETE COVER.

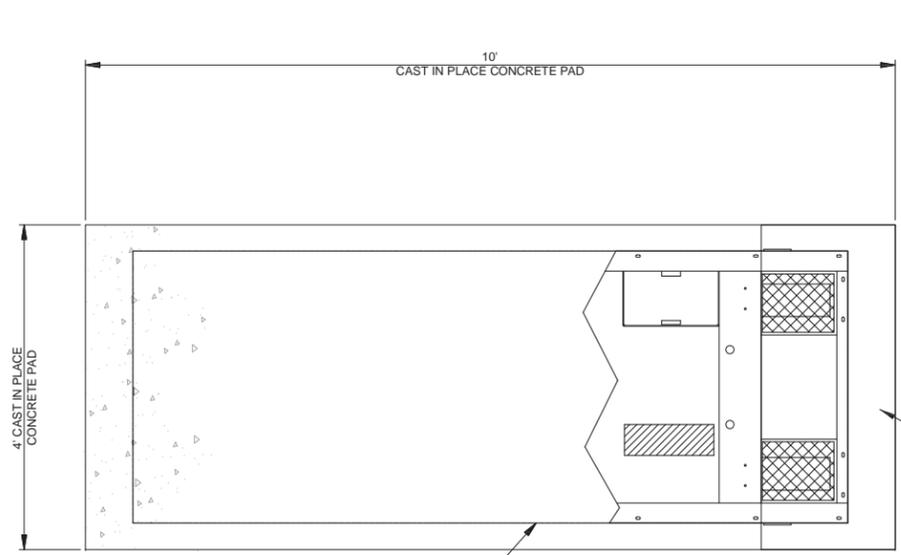
NOTES

- FOUNDATION WAS DESIGNED BY ASSUMING ALLOWABLE SOIL BEARING CAPACITY OF 1000 PSF. IF SHALLOW GROUNDWATER (<3 FT.) WAS REPORTED, A FURTHER REVIEW OF THE DESIGN OR SPECIAL DESIGN MAY BE REQUIRED.
- THE SOIL UNDERNEATH THE CONCRETE PAD MUST BE FREE OF ORGANIC MATTER OR OTHER DELETERIOUS SUBSTANCES, AND SHOULD BE COMPACTED AND LEVELED BEFORE PLACING THE FOUNDATION. PAD SHALL BE INSTALLED LEVEL TO WITHIN +/- 1/8".
- CONCRETE SLUMPS: 1"-2".
- CONCRETE VOLUME: 0.60 CUBIC YARDS.

DESIGN

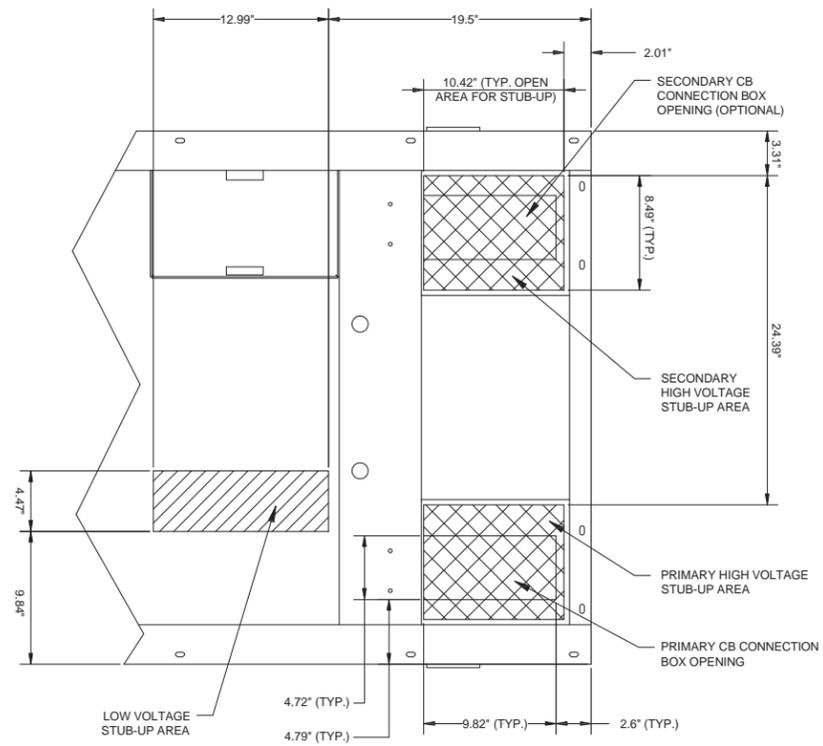
- MAXIMUM DESIGN BASIC WIND SPEED (3-SECOND GUST): 90 MPH FOR GENERATOR MODELS SD050.

NOTE:
GC IS REQUIRED TO INSTALL A 4-WAY RECEPTACLE INSTEAD OF THE 2-WAY RECEPTACLE PROVIDED WITH THE GENERATOR TO ACCOMMODATE THE REQUIRED COLD WEATHER KIT ON OUTDOOR GENERATORS.

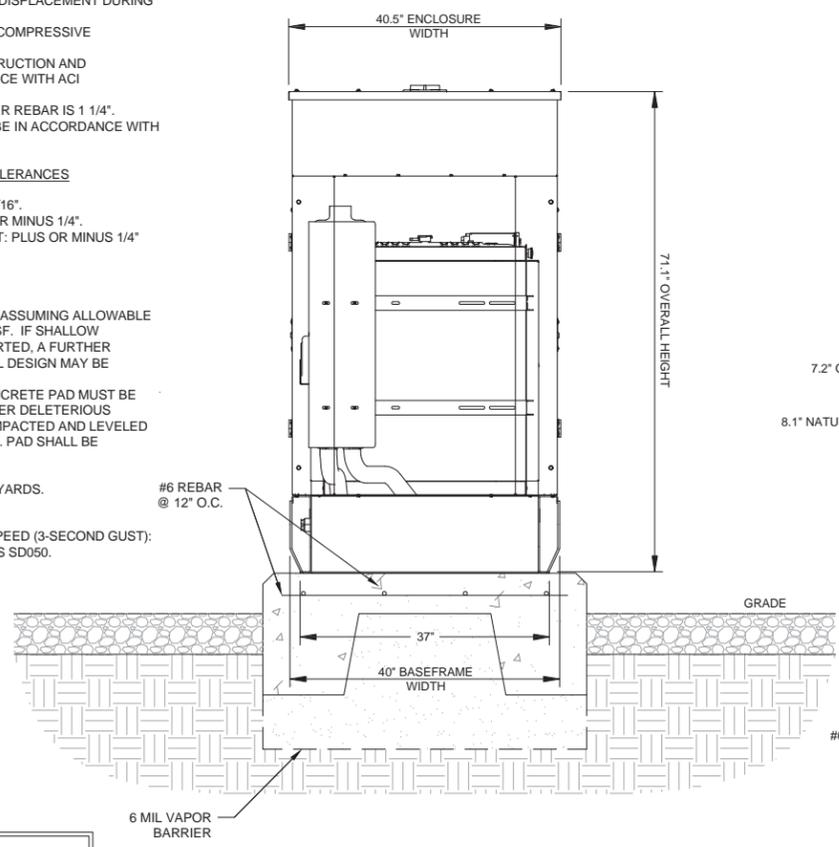


WEIGHT DATA:
OPEN SET: 1929 LBS
STEEL ENCLOSURE: 882 LBS
ALUMINUM ENCLOSURE: 291 LBS

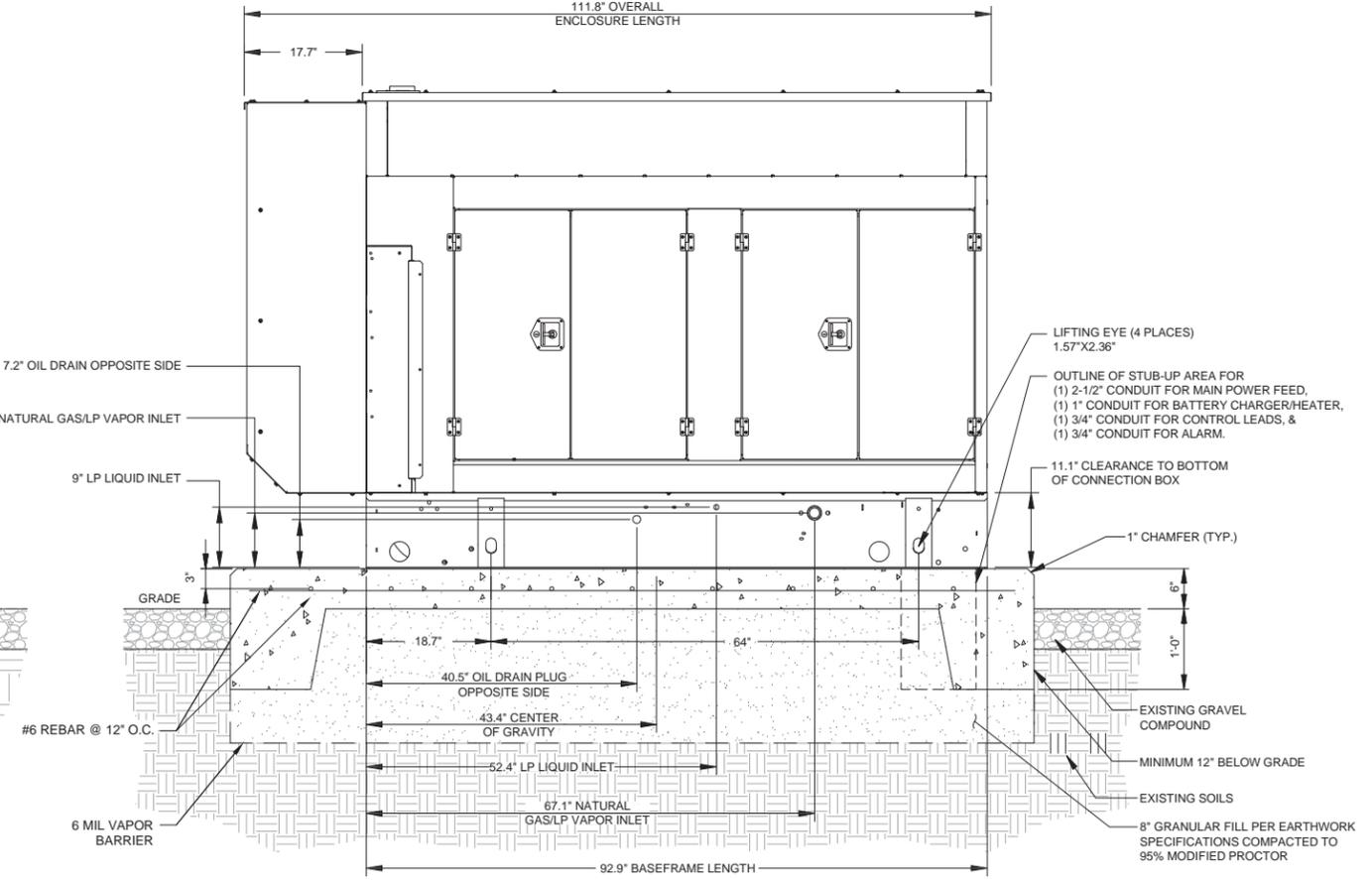
1 PLAN VIEW
SCALE: N.T.S.



2 STUB UP DETAIL
SCALE: N.T.S.



3 REAR VIEW
SCALE: N.T.S.



4 LEFT SIDE VIEW
SCALE: N.T.S.

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d/b/a VERIZON WIRELESS

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361 RANDY ROAD
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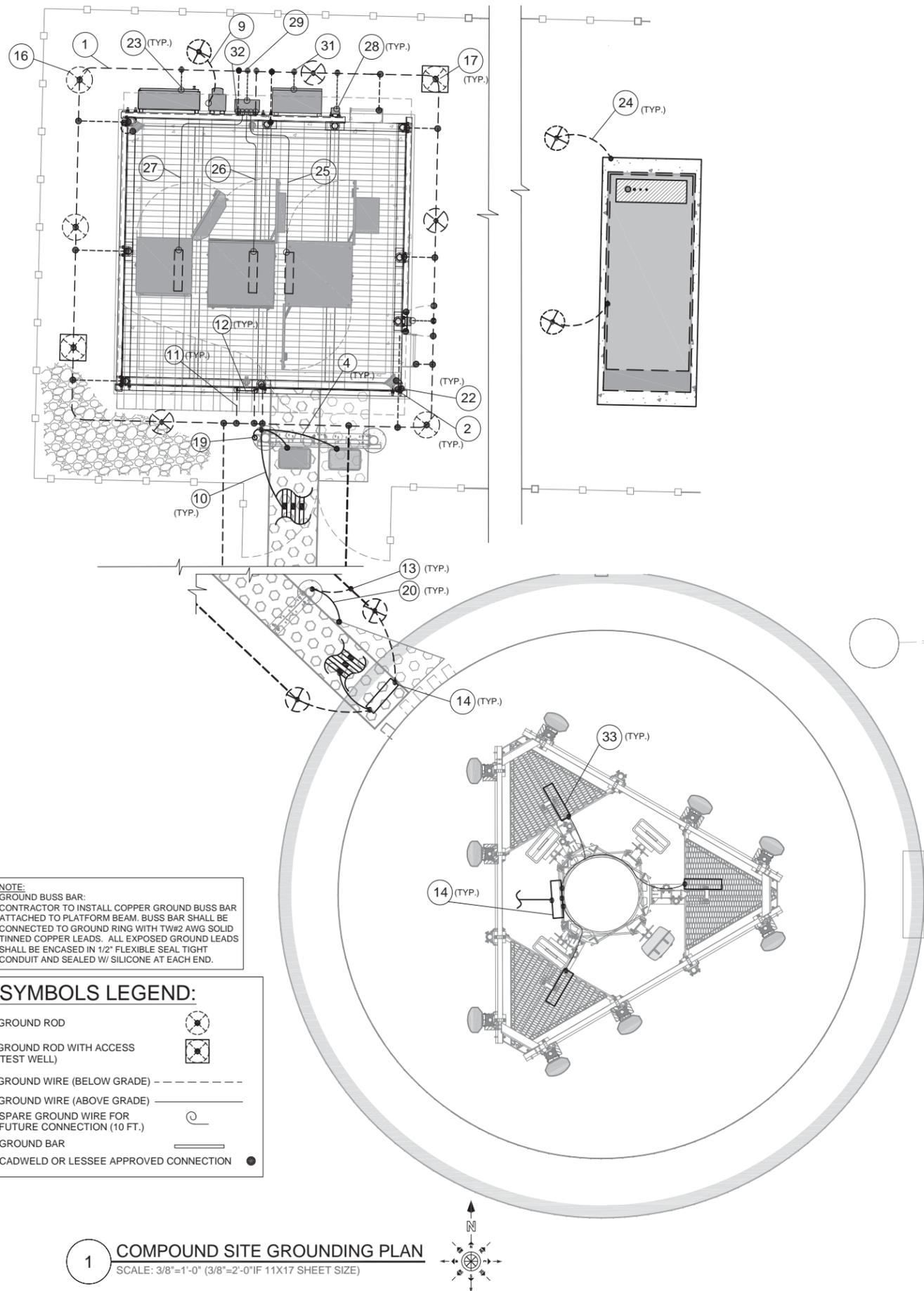
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CHECKED BY: RH	APPROVED BY: GMS

GHAZWAN M. SADAT
062-061844
LICENSED PROFESSIONAL ENGINEER OF ILLINOIS
Gy Sadat

LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
GENERATOR DETAILS

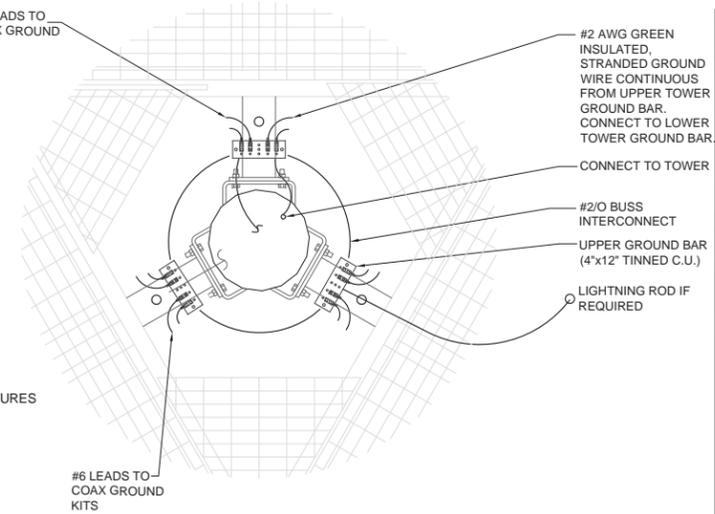
SHEET NUMBER:
E-3



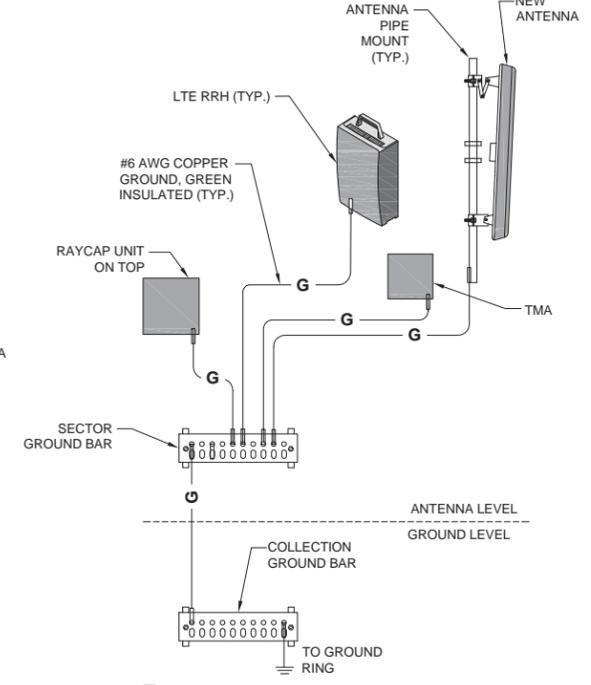
1 COMPOUND SITE GROUNDING PLAN
SCALE: 3/8"=1'-0" (3/8"=2'-0" IF 11X17 SHEET SIZE)

KEY NOTES:

- 1 GROUND RING #2 SOLID, TINNED BARE COPPER WIRE. CONSTRUCT RING FROM ONE CONTINUOUS PIECE
- 2 #2 SOLID, TINNED BARE COPPER GROUND WIRE FROM EQUIPMENT PLATFORM TO GROUND RING
- 3 #2 SOLID, TINNED BARE COPPER GROUND WIRE FROM EQUIPMENT ENCLOSURE HVAC WITH MECHANICAL CLAMP
- 4 #6 AWG, GREEN STRANDED COPPER GROUND WIRE FROM RAYCAP UNIT TO GROUND BAR (TYP.)
- 5 #2 SOLID, TINNED COPPER GROUND WIRE FROM HOOD TO MUFFLER W/ PIPE CLAMP GROUND
- 6 #2 SOLID, TINNED COPPER GROUND WIRE FROM GROUND RING TO STEEL PLATFORM LADDER
- 7 MAINTAIN 2'-0" DISTANCE OFF OF STRUCTURES
- 8 #2 SOLID, TINNED BARE COPPER GROUND WIRE FROM NEW GROUND RING TO CIENA 3911 DELIVERY SWITCH
- 9 #2 SOLID, TINNED BARE COPPER GROUND WIRE FROM GROUND ROD TO METER SOCKET.
- 10 ANTENNA CONTRACTOR TO GROUND COAXIAL ANTENNA CABLES TO GROUND BAR
- 11 EXOTHERMICALLY WELD COPPER GROUND BAR TAIL TO EXTERIOR HALO GROUND RING (EXOTHERMIC CONNECTION TYPE TA) BY ANTENNA CONTRACTOR. FINAL CONNECTION BY ELECTRICAL CONTRACTOR.
- 12 4"X20"X1/4" TNND INSULATED COPPER MASTER GROUND BAR, NON-ISOLATED, WITH #2 AWG TNND SOLID COPPER WIRE WELDED TAILS (HARGER GBIT 14420VW) ATTACHED TO PLATFORM BEAM
- 13 #2 SOLID, TINNED BARE COPPER GROUND WIRE, BOND ICE BRIDGE POST W/ VS TYPE CADWELD. (1 PER POST REQUIRED).
- 14 4"X20"X1/4" TNND INSULATED COPPER GROUND BAR, NON-ISOLATED WITH 10.0' LONG #2 AWG TNND SOLID COPPER WIRE WELDED TAILS. TYP. OF 2 - AT ANTENNA LEVEL & TOWER BASE (HARGER GBIT 14420VW)
- 15 #2 SOLID, TINNED BARE COPPER GROUND WIRE FROM LOWER TOWER GROUND BAR TO EXISTING GROUND RING (2 REQUIRED).
- 16 5/8" Ø X 10'-0" COPPER CLAD GROUND ROD
- 17 GROUND SYSTEM TEST WELL (TYP. OF 2)
- 18 #2 SOLID, TINNED BARE COPPER GROUND WIRE FROM FENCE POST TO GROUND RING
- 19 #2 SOLID, TINNED BARE COPPER GROUND WIRE FROM NEW GPS ANTENNA PIPE TO ICE-BRIDGE POST
- 20 #2 SOLID, TINNED BARE COPPER GROUND WIRE FROM ICE BRIDGE TO ICE BRIDGE POST.
- 21 EXISTING COMPOUND GROUND RING - LOCATION TO BE VERIFIED BY GC IN FIELD
- 22 #2 SOLID, TINNED BARE COPPER GROUND WIRE FROM STEEL PLATFORM LIGHT TO CANOPY POST
- 23 #2 SOLID, TINNED BARE COPPER GROUND WIRE FROM INTEGRATED LOAD CENTER (ILC) TO GROUND RING
- 24 #2 SOLID, TINNED BARE COPPER GROUND WIRE FROM BACKUP GENERATOR TO GROUND ROD (TYP. OF 2 REQUIRED)
- 25 #6 AWG, GREEN STRANDED COPPER GROUND WIRE FROM NEW CHARLES EQUIPMENT CABINET GROUND BAR TO EQUIPMENT GROUND BAR
- 26 #6 AWG, GREEN STRANDED COPPER GROUND WIRE FROM NEW CHARLES BATTERY CABINET GROUND BAR TO EQUIPMENT GROUND BAR
- 27 #6 AWG, GREEN STRANDED COPPER GROUND WIRE FROM NEW ERICSSON 6120 eNB CABINET GROUND BAR TO EQUIPMENT GROUND BAR
- 28 #2 SOLID, TINNED BARE COPPER GROUND WIRE FROM NEW GROUND RING TO 3R 3-WAY SWITCH



2 ANTENNA FRAME GROUNDING DETAIL
SCALE: NTS



3 GROUNDING DETAIL DIAGRAM
SCALE: NTS

- 29 #2 SOLID, TINNED BARE COPPER GROUND WIRE FROM NEW ALARM BOX TO GROUND RING
- 30 #2 SOLID, TINNED BARE COPPER GROUND WIRE FROM NEW GROUND RING TO NEMA TYPE 3R TROUGH DUCT
- 31 #2 SOLID, TINNED BARE COPPER GROUND WIRE FROM NEW GROUND RING TO FIBER BOX
- 32 4"X20"X1/4" TNND INSULATED COPPER EQUIPMENT GROUND BAR, NON-ISOLATED, WITH #2 AWG TNND SOLID COPPER WIRE WELDED TAILS (HARGER GBIT 14420VW) ATTACHED TO PLATFORM BEAM
- 33 4"X20"X1/4" TNND INSULATED COPPER GROUND BAR, NON-ISOLATED TYP. OF 1 PER SECTOR (HARGER GBIT14420A2T OR APPROVED EQUAL))

GROUNDING NOTES:

- GROUND RODS WILL BE 3/4" X 10 FOOT COPPER CLAD NOT LESS THAN 10 FOOT OR MORE THAN 15 FOOT APART. ALL CONNECTIONS TO THE GROUND RING, AND PERIPHERAL EQUIPMENT WILL BE MADE VIA CADWELD PROCESS UNLESS OTHERWISE SPECIFIED. ALL WIRING USED IN THE GROUND RING SHALL BE #2 SOLID TINNED COPPER UNLESS OTHERWISE SPECIFIED.
- NOTE: CONTRACTOR SHALL REVIEW SOIL RESISTIVITY REPORT FOR SPECIFIC GROUNDING SYSTEM RECOMMENDATIONS (i.e. XIT GROUND REQUIREMENTS).
1. COPPER CLAD GROUND ROD AS SPECIFIED ABOVE.
 2. FENCE GROUNDING AT ALL CORNER POSTS (CADWELD CONNECTION FROM GROUND RING TO FENCE POST AT CORNERS (CONNECTION TO BE NO MORE THAN 12 INCHES ABOVE GROUND BUT MUST BE VISIBLE).
 3. ATACH TO EXISTING GROUND RING IN FOUR DIFFERENT PLACES SEPARATE EACH CONNECTION BY 3"
 4. CONNECTIONS FOR POWER CABINET AND BTS - PROVIDE 1 LEAD FOR EACH CABINET (NOT LESS THAN 4 FEET AND NOT MORE THAN 5 FEET LONG TO BE COILED UNDER PLATFORM - FOR USE AND FUTURE USE).
 5. SPARE LEADS TO GROUND RING FOR FUTURE CABINETS. NOT LESS THAN 4 FEET AND NOT MORE THAN 5 FEET LONG - COILED NEATLY NEAR FUTURE BTS POSITION
 6. #2 AWG INSULATED STRANDED GROUND WIRE FROM MONOPOLE BOTTOM GROUND BAR TO DESIGNATED SECTOR GROUND BAR AT TOP OF MONOPOLE
 7. FOR WOOD FENCE APLICATIONS NO GATE OR CORNER POST GROUNDS ARE REQUIRED

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CHECKED BY: RH APPROVED BY: GMS



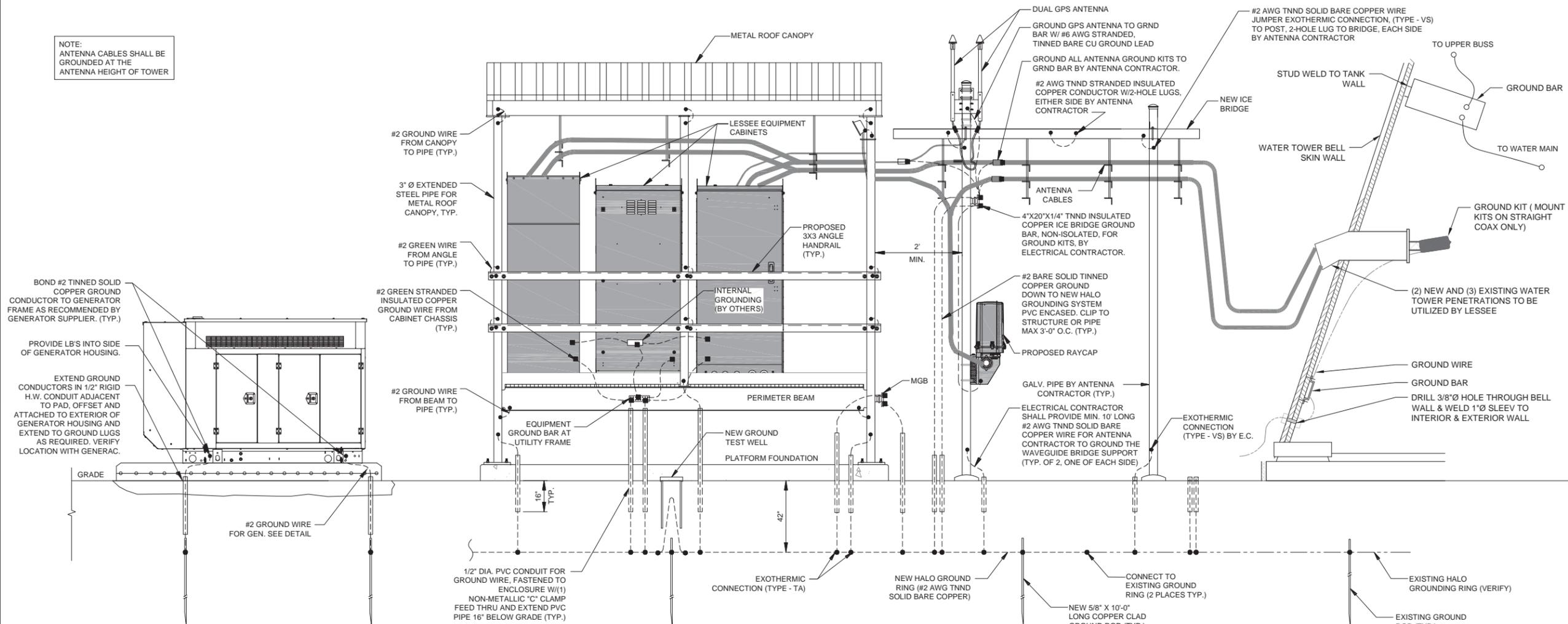
Ghazwan M. Sadat

LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

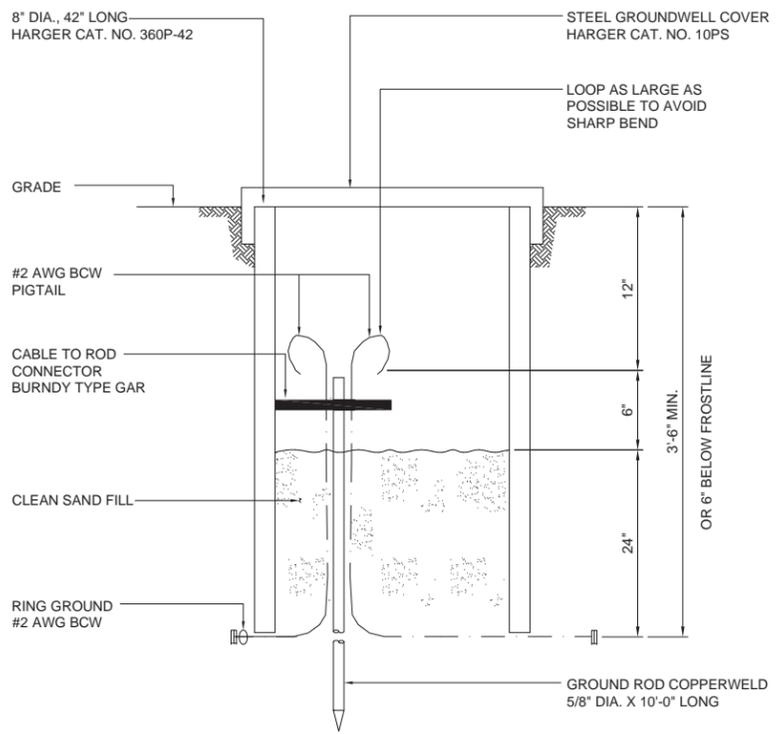
SHEET TITLE:
SITE GROUNDING PLAN

SHEET NUMBER:
G-1

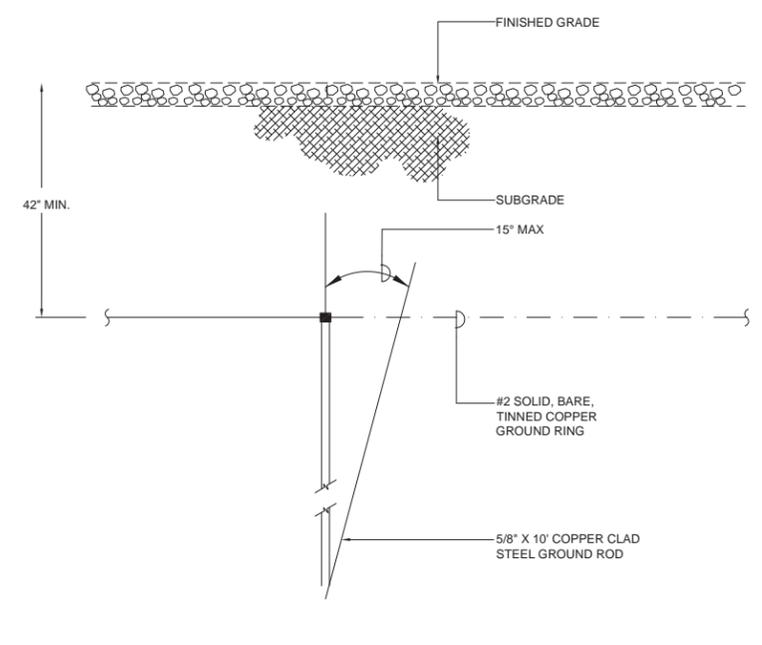
NOTE:
ANTENNA CABLES SHALL BE
GROUNDED AT THE
ANTENNA HEIGHT OF TOWER



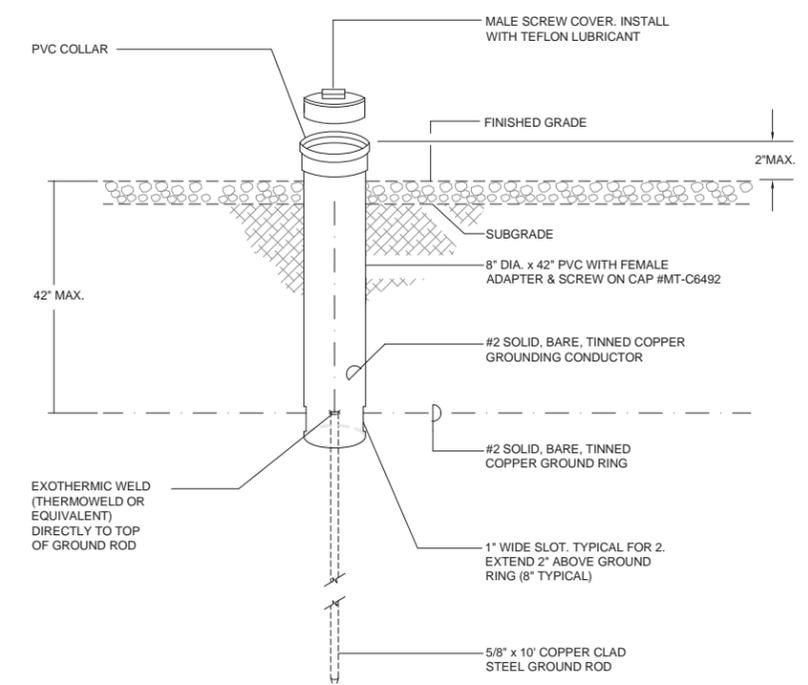
1 TYPICAL SITE GROUNDING DETAIL
SCALE: N.T.S.



2 STANDARD GROUND INSPECTION WELL
SCALE: N.T.S.



3 GROUND ROD DETAIL
SCALE: N.T.S.



4 TEST WELL DETAIL
SCALE: N.T.S.

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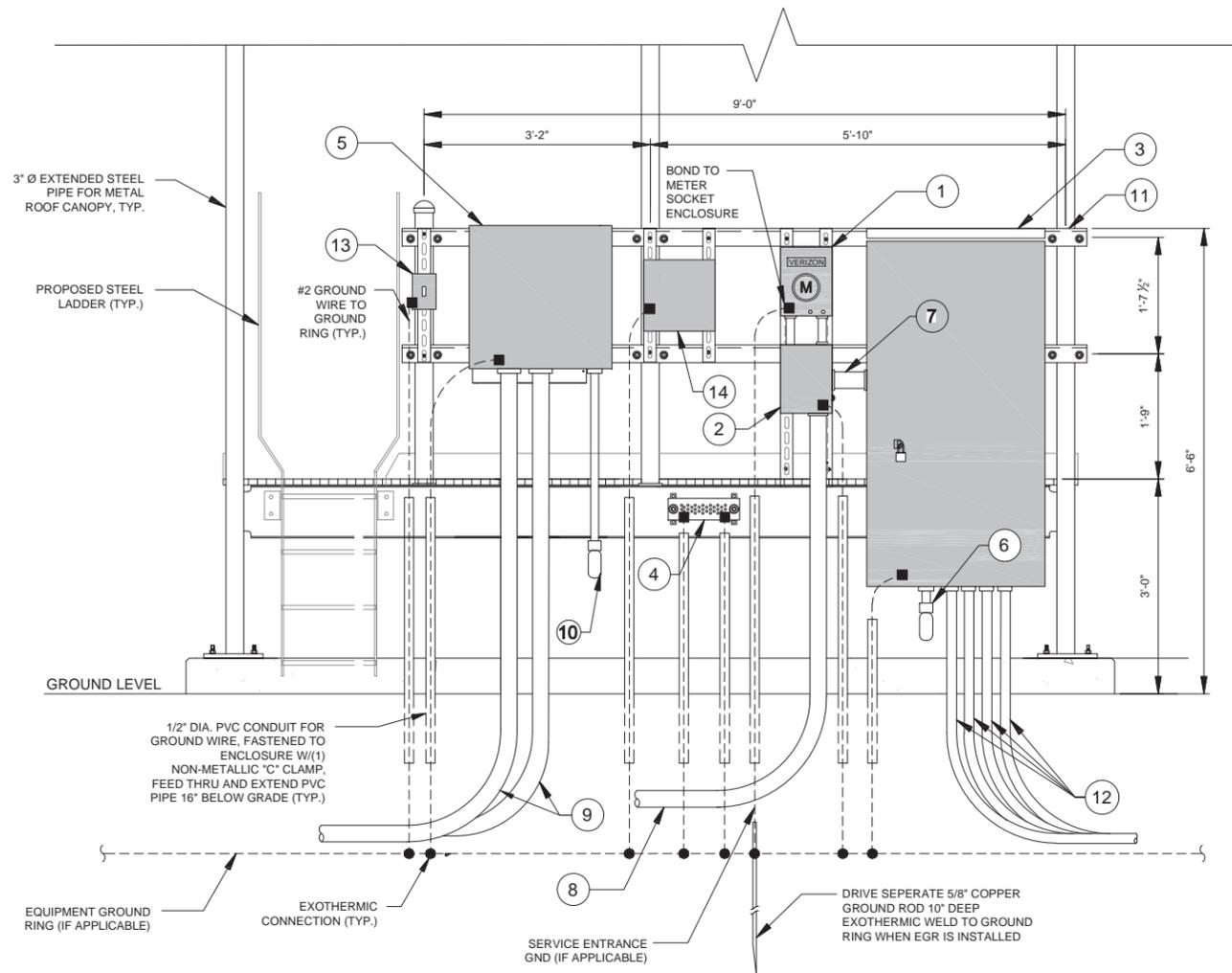
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LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
GROUNDING DETAILS

SHEET NUMBER:
G-2

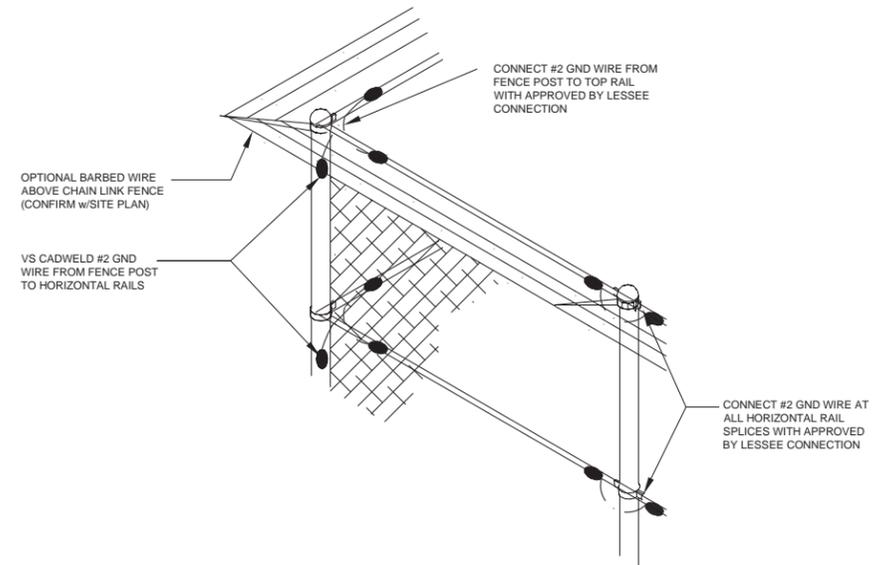


1 UTILITY H-FRAME DETAIL
SCALE: NTS

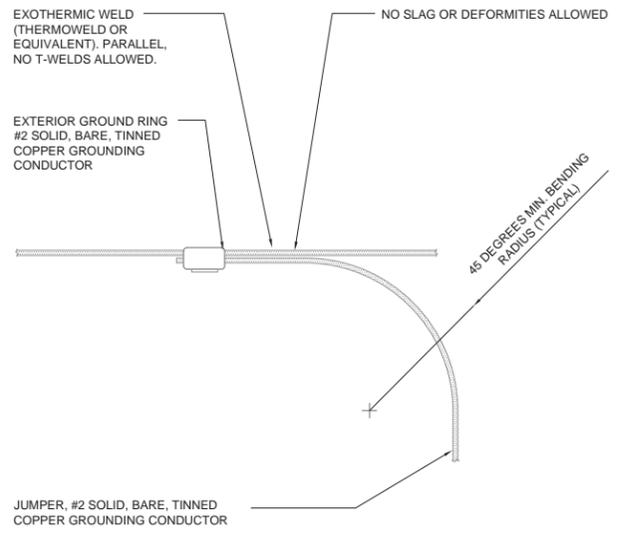
- 1 PROPOSED 120/240V 200A SINGLE PHASE METER SOCKET MOUNTED ON NEW UTILITY H-FRAME (METER BY UTILITY COMPANY)
- 2 PROPOSED 120/240V 3W DISCONNECT W/ 200A 22 KAIC CB
- 3 200A ILC W/ATS MOUNTED TO PLATFORM RAILING
- 4 EQUIPMENT GROUND BAR
- 5 NEW 24"X24"X12" NEMA 3R ENCLOSURE
- 6 2" Ø POWER CONDUIT TO EQUIPMENT CABINET (BY OTHERS)
- 7 (3) 3/0 IN 2" DIA. RGS CONDUIT FROM DISCONNECT TO ILC
- 8 (3) 3/0 IN 2" DIA. SCH. 40 PVC CONDUIT FROM POWER SOURCE TO METER
- 9 (2) 4" FIBER CONDUITS WITH (2) 1-1/4" INNER DUCTS IN EACH CONDUIT FROM FIBER SOURCE TO FIBER ENCLOSURE AT EQUIPMENT AREA
- 10 (1) 2" Ø FIBER CONDUITS TO EQUIPMENT CABINET (BY OTHERS)
- 11 HORIZONTAL SUPPORT MEMBER (UNISTRUT P1000, OR APPROVED EQUAL)
- 12 UNDERGROUND CONDUITS FOR GENERATOR SEE SHEET E-1A
- 13 NEMA 3R 3-WAY SWITCH (TYP. OF 2)
- 14 (1) 12"X12"X6" NEMA-3 DRY CONTACT ALARMS FOR ILC AND GENERATOR. LEAVE (2) 25' OF CAT 5 COILED IN BOX FOR EQUIPMENT ENGINEER (4 GEN ALARMS AND COMM PWR, SURGE ARRESTOR)

CADWELD CONNECTIONS OR APPROVED EQUAL		BURNDY CONNECTIONS OR APPROVED EQUAL	
PARALLEL HORIZONTAL CONDUCTORS PARALLEL THROUGH CONNECTION OF HORIZONTAL CABLES TYPE PT	HORIZONTAL STEEL SURFACE TO FLAT STEEL SURFACE OR HORIZONTAL PIPE TYPE HS	"C" CONNECTOR HYPRESS TYPE YGHC	
THROUGH CABLE TO GROUND ROD THROUGH CABLE TO TOP OF GROUND ROD TYPE GT	VERTICAL STEEL SURFACE CABLE DOWN AT 45° TO VERTICAL STEEL SURFACE INCLUDING PIPE TYPE VS	BOND JUMPER FIELD FABRICATED GREEN STRANDED INSULATED TYPE 2-YA-2	
HORIZONTAL SPLICE SPLICE OF HORIZONTAL CABLES	VERTICAL PIPE CABLE DOWN AT 45° TO RANGE OF VERTICAL PIPES TYPE VS	COPPER LUGS TWO HOLE - LONG BARREL LENGTH TYPE YA-2	

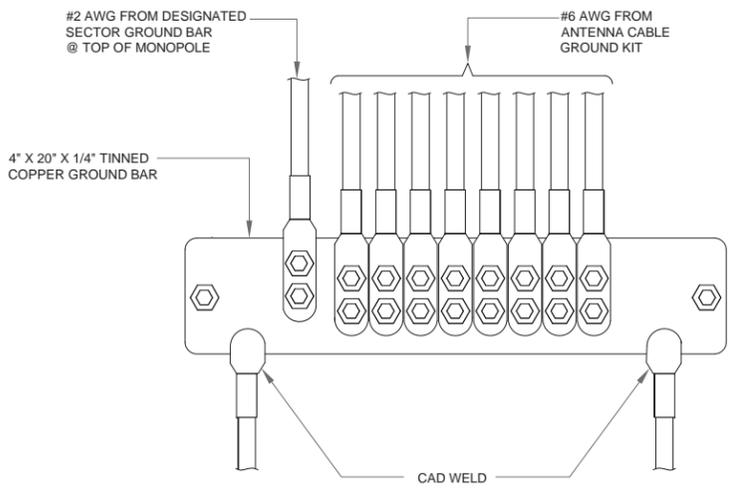
2 CADWELD DETAILS
SCALE: NTS



3 FENCE POSTS & RAILS GROUNDING
SCALE: NTS



4 TIE CONNECTION
SCALE: NTS



5 GROUND BAR DETAIL
SCALE: NTS

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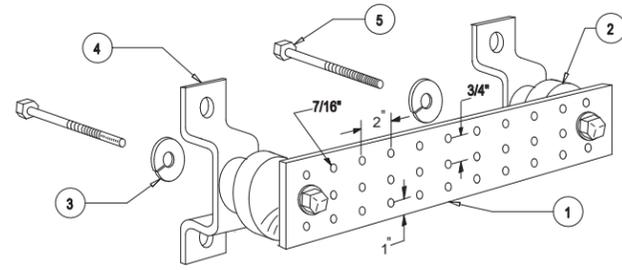
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CHECKED BY: RH APPROVED BY: GMS



LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
GROUNDING DETAILS

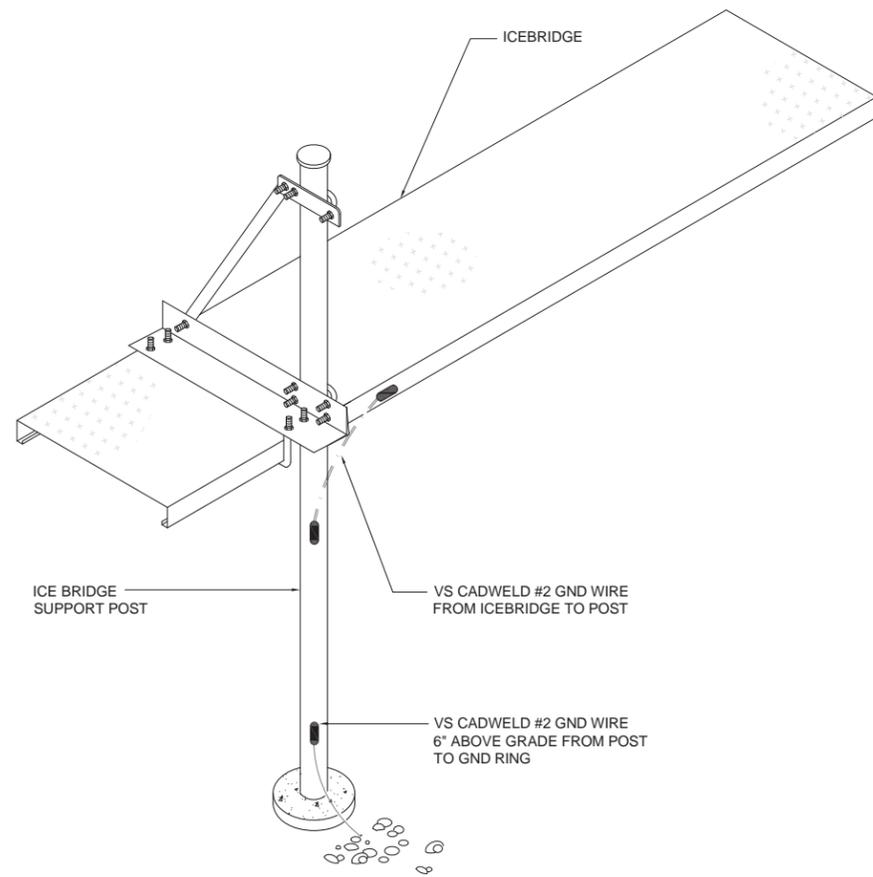
SHEET NUMBER:
G-3



LEGEND

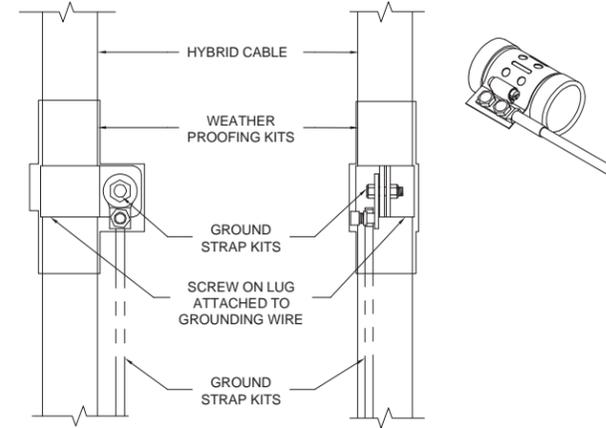
- 1- GROUND BAR, 4"X 20"X1/4", CONFIRM w/VERIZON WIRELESS PROJECT MANAGER THE APPROVED BUSS MFR. HOLE CENTERS TO MATCH NEMA DOUBLE LUG CONFIGURATION
- 2- INSULATORS, CONFIRM THE APPROVED BUSS MFR. w/VERIZON WIRELESS
- 3- 5/8" LOCKWASHERS, CONFIRM w/VERIZON WIRELESS THE APPROVED BUSS MFR. (NEWTON INSTRUMENT CO. CAT. NO. 3015-8 OR EQUIVALENT)
- 4- WALL MOUNTING BRACKET, NEWTON INSTRUMENT CO. CAT NO. A-6056 OR APPROVED EQUIVALENT (CONFIRM w/VERIZON WIRELESS THE APPROVED BUSS MFR.)
- 5- 5/8-11 X 1" H.H.C.S. BOLTS, NEWTON INSTRUMENT CO. CAT NO. 3012-1 OR APPROVED EQUIVALENT (CONFIRM w/VERIZON WIRELESS THE APPROVED BUSS MFR.)

1 GROUNDING - STANDARD GROUND BAR DETAIL
SCALE: NTS

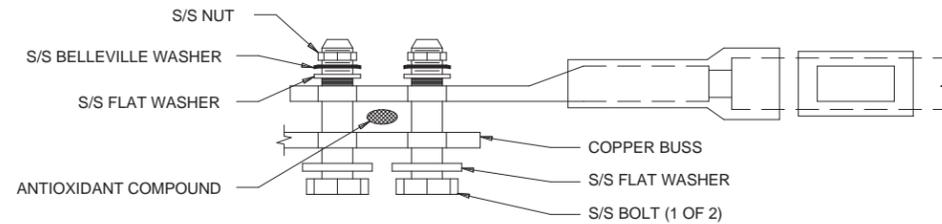


2 ICE BRIDGE & POSTS GROUNDING DETAIL
SCALE: NTS

- NOTES:**
1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
 2. THIS DETAIL IS TYPICAL FOR EACH COAX CABLE WHERE IT IS SPECIFIED TO BE GROUNDED
 3. CABLE TO BE GROUNDED AT ANTENNA LEVEL AND PRIOR TO REACHING EQUIPMENT PLATFORM
 4. CABLE ALSO TO BE GROUNDED TO GROUND BAR AT TOWER BASE IF APPLICABLE.
 5. USE ONLY TIN PLATED GROUNDING KITS.

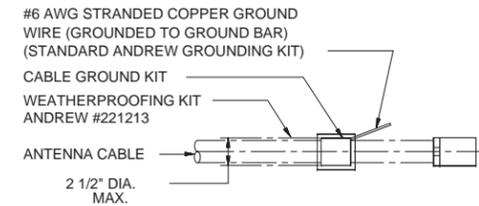


3 COAX/HYBRID GROUND KIT DETAIL
SCALE: NTS



- NOTES:**
1. ALL HARDWARE 18-8 STAINLESS STEEL INCLUDING BELLEVILLES. COAT ALL SURFACES WITH KOPR-SHEILD BEFORE MATING.
 2. FOR GROUND BOND TO STEEL ONLY: INSERT A DRAGON TOOTH WASHER BETWEEN LUG AND STEEL. COAT ALL SURFACES WITH KOPR-SHEILD.

4 STANDARD LUG CONNECTION OF GROUND LEADS TO GROUND BAR DETAIL
SCALE: NTS



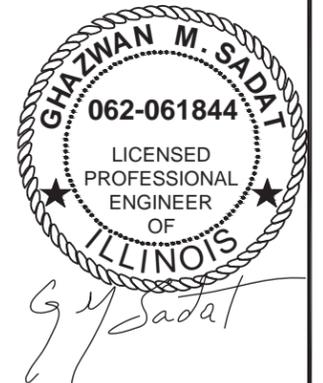
NOTE: DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.

5 STANDARD CONNECTION OF CABLE GROUND KIT TO ANTENNA CABLE
SCALE: NTS

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CHECKED BY: RH	APPROVED BY: GMS



LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
GROUNDING DETAILS

SHEET NUMBER:

G-4

**Attachment A
NOTICE TO CONTRACTOR – ENVIRONMENTAL CONDITIONS/RESTRICTIONS AT
(Stephens Park- IL/WI)**

Note: Verizon Wireless makes no representation or warranty as to the accuracy or completeness of the information below. Company is fully responsible for its own compliance with all applicable laws and regulations. To the extent that Company becomes aware of any additional environmental conditions, it agrees to immediately inform Verizon Wireless.

The Company's response to this construction bid shall constitute the Company's acknowledgement and acceptance of the stated conditions and restrictions at the site.

The following environmental conditions have been identified at the project site:

Environmental Condition	Description and Location of Contaminant
Check All That Apply	
<input type="checkbox"/> Contaminated soil	
<input type="checkbox"/> Contaminated groundwater	
<input type="checkbox"/> Presence of asbestos	
<input type="checkbox"/> Presence of lead-based paint	
<input checked="" type="checkbox"/> Other: Water Tower (Provides Potable Water)	Onsite Water Tower - The Subject Property is owned by the City of Moline and is improved with the existing 500,000-gallon municipal water tower. The water tank contains potable water used for the City of Moline drinking water supply

Applicable legal requirements or Verizon Wireless policies and procedures may require that these conditions be communicated to all parties involved in the construction activities at the project site. To the extent that the scope of the project work includes measures to address these conditions, details of the work to be performed shall be as specified in the project documents and/or the Authorization Letter.

Environmental conditions affecting scope of work:
(see project documents for detailed specifications)

Diesel Restriction – Based on the onsite water tower which provides potable water to the City of Moline, a diesel restriction is implemented for this site.

Company is required to comply fully with all applicable environmental, industrial hygiene, and worker health and safety laws and regulations; Verizon Wireless' directions and/or instructions contained in this Notice To Contractors. Company shall retain qualified, appropriately specialized (and/or licensed, as required) and adequately insured environmental firms for the completion of specialized work as applicable. Company shall evaluate whether a Health and Safety Plan (HASp) is warranted. Verizon Wireless shall have the final authority to approve the selection of such environmental firms performing services on its behalf. The construction bid package shall include qualifications of proposed firms with respect to the following required services:

Environmental Services Required
Check All That Apply
<input type="checkbox"/> Asbestos abatement.
<input type="checkbox"/> Lead based paint abatement
<input type="checkbox"/> Hazardous or special waste transportation and disposal.
<input type="checkbox"/> Excavation, drilling or advancement through and staging/stockpiling of contaminated media.
<input type="checkbox"/> Other:

Company shall ensure at all times that only appropriately trained qualified, and licensed workers perform the required environmental services. It is the responsibility of Company to adhere to the following restrictions in response to the above environmental conditions

An outside environmental "oversight" consultant is required if transportation and disposal of wastes is carried out in accordance with applicable laws, regulations and the Verizon Wireless Environmental Compliance Program. THE USE OF SUCH CONSULTANT IS MANDATORY.

Site Restrictions
Check All That Apply
<input type="checkbox"/> Restrictions on excavations/construction methods. Description
<input checked="" type="checkbox"/> Diesel fuel prohibited at construction site except in fuel tank of vehicle.
<input checked="" type="checkbox"/> Gasoline prohibited at construction site except in fuel tank of vehicle
<input type="checkbox"/> Other:

Contractor's Signature: _____

Print Name: _____

Witness: _____

Site Name: Stephens Park

Site Address: 531 15th Avenue

City: Moline State: Illinois

NOTE: This signed original is to be returned to Area Compliance along with the EES Closeout Report.

**GTE WIRELESS
MIDWEST, INC.**
d/b/a VERIZON WIRELESS

CONCORDIA, LTD
A PROFESSIONAL DESIGN FIRM
LICENSE # 3323-011- D.B.A.
 **CONCORDIA WIRELESS, INC.**
361 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
MAIN: (847) 981-0801

DRAWN BY: NC	CHECKED BY: PS
CHECKED BY: RH	APPROVED BY: GMS

FOR REFERENCE
ONLY

LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
**NOTICE TO
CONTRACTOR**

SHEET NUMBER:
N-1



EXISTING ACCESS GATE & DRIVEWAY TO BE UTILIZED
(LOOKING NORTHEAST)



TOP OF WATER TANK



LOOKING AT SITE FROM SOUTH EAST



PROPOSED STEEL PLATFORM LOCATION (LOOKING FROM WEST)



LOOKING AT PROPOSED SITE LOCATION -
STANDING SOUTH OF EXISTING DRIVEWAY



STANDING ON EAST SIDE OF EXISTING SITE VIEWING PROPOSED
OVERHEAD ELECTRIC ROUTE (LOOKING SOUTH)



PROPOSED MEET POINT LOCATION LOOKING EAST

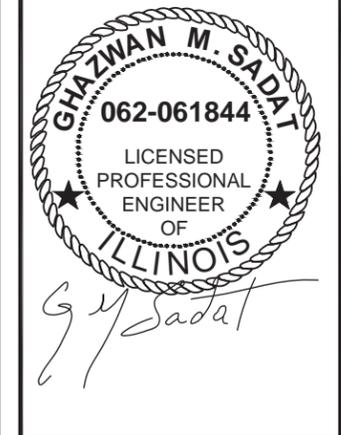


CLOSEST UTILITY POLE W/TRANSFORMER
PROPOSED ELECTRIC ROUTE (LOOKING SOUTHEAST)

**GTE WIRELESS
MIDWEST, INC.**
d/b/a VERIZON WIRELESS

CONCORDIA, LTD
A PROFESSIONAL DESIGN FIRM
LICENSE # 3323-011- D.B.A.
CONCORDIA WIRELESS, INC.
361 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
MAIN: (847) 981-0801

DRAWN BY: NC	CHECKED BY: PS
CHECKED BY: RH	APPROVED BY: GMS



LOCATION # 288442
STEPHENS PARK
531 15TH AVE
MOLINE, IL 61265

SHEET TITLE:
SITE PHOTO LOG

SHEET NUMBER:
PL-1

EXHIBIT "C"
(Survey)

[See attached]

LEGEND

	Light Post		Found Section Corner Monument
	Power Pole		Found or Set Monument
	Telephone Pedestal		Found or Set Cut Cross
	Fence		Measured
	Railroad Tracks		Record
	Centerline (60.00')		Document Number
	Section Line		Building
	Underground Electric Line		PROPOSED Access Easement
	Underground Fiber Optic Line		PROPOSED Utility Easement
	Underground Communication Line		PROPOSED Lease Site Area
	Underground Gas Line		PROPOSED Gas Easement
	Underground Storm Line		
	Underground Water Line		
	AGL Above Ground Level		
	POC Point of Commencement		
	POB Point of Beginning		

BENCHMARK INFO

SOURCE BENCHMARK: NGS MONUMENT
 DESIGNATION: ROC74 1A
 PID: AH3060
 STATE / COUNTY: IL / ROCK ISLAND
 USGS QUAD: SILVIS (1991)
 ELEVATION = 567.33' (NAVD88)

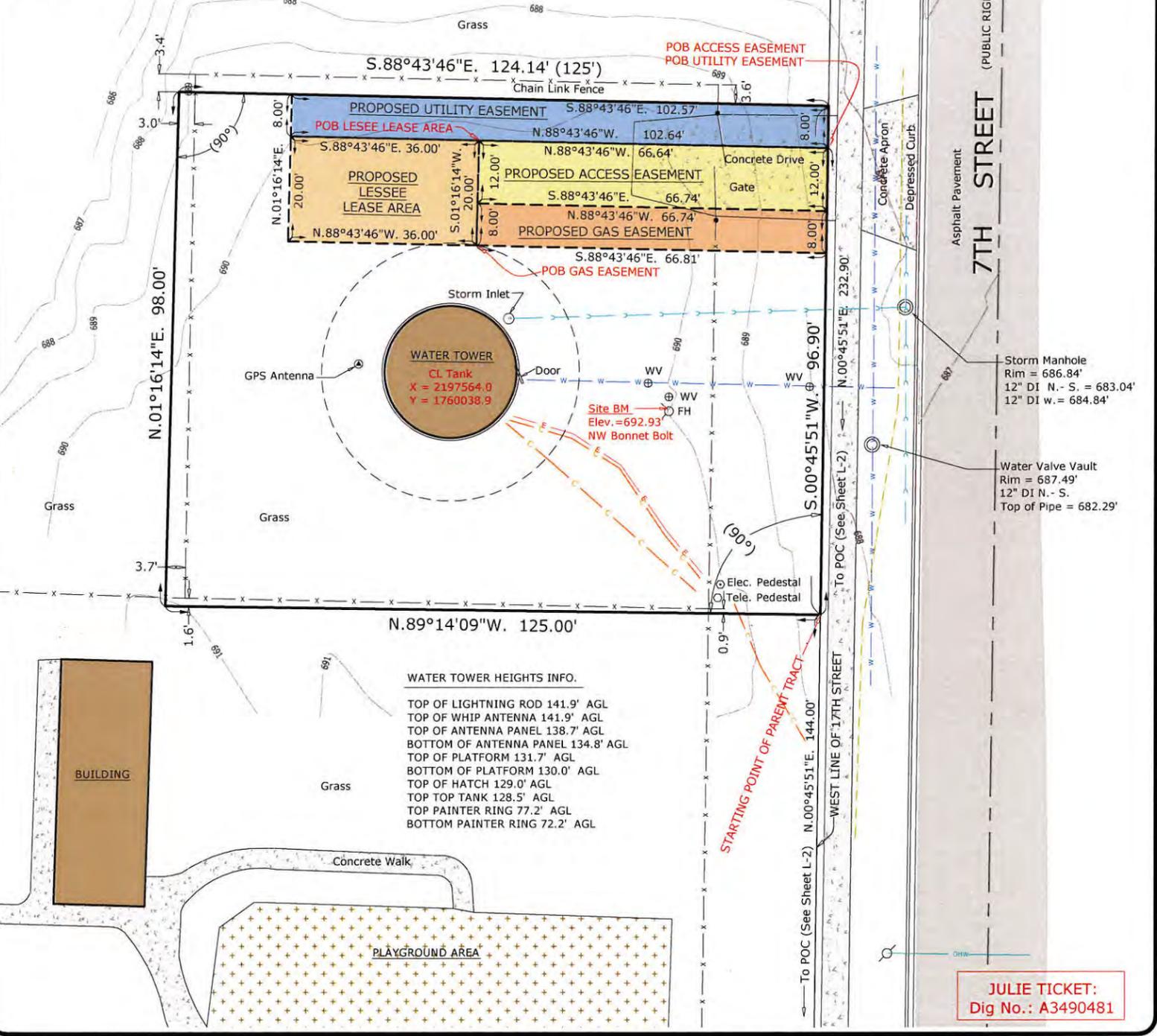
BASIS OF BEARING

BEARINGS SHOWN HEREON ARE BASED ON ILLINOIS STATE PLANE, WEST ZONE, NAD83 (2011)
 MEAN MAGNETIC DECLINATION OBTAINED FROM U.S.G.S. 7 1/2 MINUTE SERIES MAP MILAN QUADRANGLE STATE OF ILLINOIS - IOWA
 LATITUDE: N 41° 29' 55.01"
 LONGITUDE: W 090° 31' 41.33"
 AT PROPOSED CENTERLINE OF TOWER COMPLIES WITH F.A.A. 1/A ACCURACY REQUIREMENTS
 SCALE: 1" = 30'

UTM GRID AND 1975 MAGNETIC NORTH DECLINATION AT CENTER OF QUAD MAP

LOCATION MAP

NOT TO SCALE



SURVEY NOTES

EASEMENTS AND SETBACKS SHOWN HEREON ARE BASED UPON THE RECORDED SUBDIVISION PLAT UNLESS NOTED OTHERWISE.

THE SURVEYOR EXPRESSES NO OPINION AS TO THE ACCURACY OF ANY UNDERGROUND UTILITIES WHEN NOT READILY VISIBLE FROM THE SURFACE. IT IS RECOMMENDED THAT THE APPROPRIATE GOVERNMENTAL AGENCY, MUNICIPALITY AND/OR UTILITY COMPANY BE CONTACTED FOR VERIFICATION.

THE PERMANENT PARCEL INDEX NUMBER FOR THE PROPERTY ENCUMBERED BY THE LEASE SITE AND EASEMENTS HEREON IS 17-06-200-001.

THE FLOOD INSURANCE RATE MAP SHOWS THAT THE PROPERTY DESCRIBED HEREON IS FALLING WITHIN ZONE "X", ACCORDING TO THE COMMUNITY PANEL NUMBER 170591 0310 F, CITY OF MOLINE, MAP NUMBER 17161C0310F, ROCK ISLAND COUNTY, ILLINOIS AND INCORPORATED AREAS, MAP REVISED APRIL 5, 2010. ZONE "X" IS AREA DETERMINED TO BE OUTSIDE THE 0.2 % ANNUAL CHANCE FLOODPLAIN.

EASEMENTS AND SERVITUDES SHOWN HEREON ARE BASED UPON A TITLE COMMITMENT ISSUED BY CHICAGO TITLE INSURANCE COMPANY, AND IDENTIFIED AS FILE NUMBER: 144003, REFERENCE FILE NUMBER 021403637, WITH AN EFFECTIVE DATE OF JANUARY 13, 2015.

LEGAL DESCRIPTIONS

SEE SHEET L-2 (SHEET 2 OF 2) FOR POINT OF COMMENCEMENT LOCATION AND ALL LEGAL DESCRIPTIONS

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS }
 COUNTY OF KANE } SS

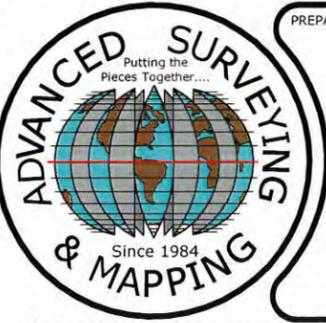
I, CHARLES S. MARSHALL, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON, BEING COMPLETED IN THE FIELD ON 12/25/2014 IS A CORRECT REPRESENTATION OF A SURVEY PERFORMED AT AND UNDER MY DIRECTION.

THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND BOUNDARY SURVEYS SET FORTH BY ILLINOIS STATE LAW.

ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.

GIVEN UNDER MY HAND AND SEAL THIS 9TH DAY OF DECEMBER, A.D. 2015.

CHARLES S. MARSHALL
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3377
 LICENSE EXPIRES 11/30/2016



PREPARED BY:

ASMO

ASM Consultants, Inc.
 16 E. Wilson Street, Batavia, IL 60510
 Tel (630) 879-0200 Fax (630) 454-4774
 advanced@advct.com
 Professional Design Firm #184-006014 expires 4/30/2017

PLAT OF SURVEY OF LESSEE LEASE AREA AND EASEMENTS

PREPARED FOR:

GTE WIRELESS MIDWEST, INC.
 limited partnership
 d/b/a/ Verizon Wireless

Concordia Wireless
 A division of Concordia Group, Ltd.
 361 Randy Road, Suite 101
 Carol Stream, IL 60188

NO.	DATE	REVISION
1.	12/25/2014	FIELD SURVEY COMPLETED
4.	4/8/2015	REISSUED PRELIMINARY SURVEY
5.	8/24/2015	FINAL SURVEY COMPLETED
6.	12/1/2015	REVISED GAS EASEMENT LOCATION PER CLIENT
7.	12/9/2015	REVISED LEASE AREA & EASEMENTS LOCATION PER CLIENT

SITE DESIGNATION INFORMATION:

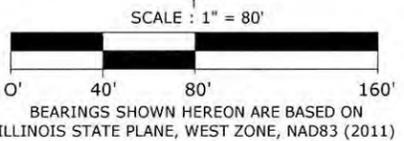
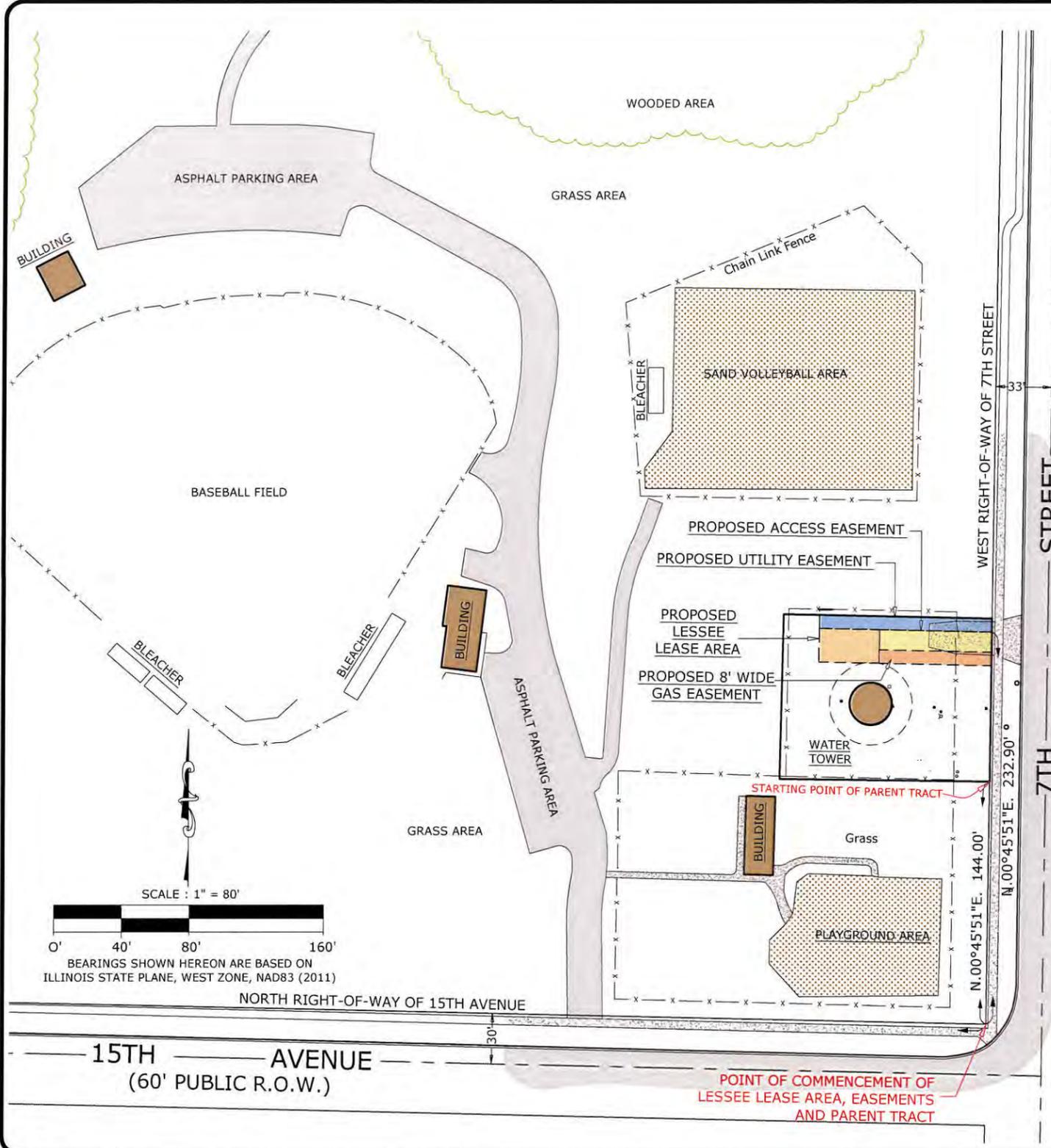
STEPHENS PARK
 LOCATION NO.: 288442
 531 15TH AVENUE
 MOLINE, IL 61265

DRAWN BY: PS
 CHECKED BY: CSM

PROJECT NO. 810006A

LS-1

SHEET 1 OF 2



PARENT TRACT:
 (Part of Exceptions in Deed document number 121186 filed December 10, 1907)

BEGINNING AT A POINT WHERE THE WEST LINE OF SEVENTH (7TH) STREET INTERSECTS THE NORTH LINE OF FIFTEENTH (15TH) AVENUE IN THE CITY OF MOLINE, THERE RUN NORTH ALONG THE SAID WEST LINE OF SEVENTH (7TH) STREET, ONE HUNDRED AND FORTY FOUR (144) FEET FOR A STARTING POINT, THENCE RUN WEST AT RIGHT ANGLES TO THE WEST LINE OF SEVENTH (7TH) STREET, ONE HUNDRED AND TWENTY FIVE (125) FEET, THENCE RUN NORTH AT RIGHT ANGLES TO THE NORTH LINE OF FIFTEENTH (15TH) AVENUE, NINETY EIGHT (98) FEET, THENCE RUN EAST PARALLEL TO THE NORTH LINE OF FIFTEENTH (15TH) AVENUE, ONE HUNDRED AND TWENTY FIVE (125) FEET, THENCE RUN SOUTH ON THE WEST LINE OF SEVENTH (7TH) STREET, NINETY EIGHT (98) FEET TO SAID STARTING POINT, IN COUNTY OF ROCK ISLAND, STATE OF ILLINOIS.

SAID TRACT OF LAND IS NOW OWNED BY HENRY DEEBELLISHN AND DORA HOESLI.

PROPOSED LESSEE LEASE AREA LEGAL DESCRIPTION:

A PARCEL OF LAND FOR LESSEE LEASE AREA PURPOSES, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 1 WEST OF THE 4TH P.M., ROCK ISLAND COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF 7TH STREET WITH THE NORTH RIGHT-OF-WAY LINE OF 15TH AVENUE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID WEST RIGHT-OF-WAY LINE, 232.90 FEET; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST, 66.64 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 01 DEGREES 16 MINUTES 14 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 20.00 FEET; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 36.00 FEET; THENCE NORTH 01 DEGREES 16 MINUTES 14 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 20.00 FEET; THENCE SOUTH 88 DEGREES 43 MINUTES 46 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 36.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 720.0 SQUARE FEET.

PROPOSED ACCESS EASEMENT LEGAL DESCRIPTION:

A PARCEL OF LAND FOR ACCESS EASEMENT PURPOSES, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 1 WEST OF THE 4TH P.M., ROCK ISLAND COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF 7TH STREET WITH THE NORTH RIGHT-OF-WAY LINE OF 15TH AVENUE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID WEST RIGHT-OF-WAY LINE, 232.90 FEET FOR A POINT OF BEGINNING; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST, 66.64 FEET; THENCE SOUTH 01 DEGREES 16 MINUTES 14 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 12.00 FEET; THENCE SOUTH 88 DEGREES 43 MINUTES 46 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 66.74 FEET TO SAID WEST RIGHT-OF-WAY LINE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE, 12.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 800.3 SQUARE FEET

PROPOSED UTILITY EASEMENT LEGAL DESCRIPTION:

A PARCEL OF LAND FOR UTILITY EASEMENT PURPOSES, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 1 WEST OF THE 4TH P.M., ROCK ISLAND COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF 7TH STREET WITH THE NORTH RIGHT-OF-WAY LINE OF 15TH AVENUE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID WEST RIGHT-OF-WAY LINE, 232.90 FEET FOR A POINT OF BEGINNING; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST, 102.64 FEET; THENCE NORTH 01 DEGREES 16 MINUTES 14 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 8.00 FEET; THENCE SOUTH 88 DEGREES 43 MINUTES 46 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 102.57 FEET TO SAID WEST RIGHT-OF-WAY LINE; THENCE SOUTH 00 DEGREES 45 MINUTES 51 SECONDS WEST ALONG SAID WEST RIGHT-OF-WAY LINE, 8.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 820.8 SQUARE FEET.

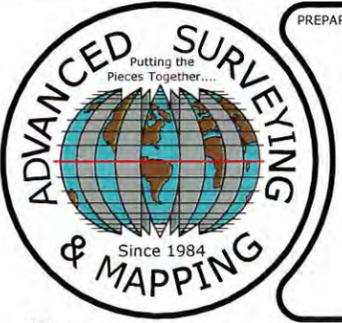
PROPOSED GAS EASEMENT LEGAL DESCRIPTION:

A PARCEL OF LAND FOR GAS EASEMENT PURPOSES, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 1 WEST OF THE 4TH P.M., ROCK ISLAND COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF 7TH STREET WITH THE NORTH RIGHT-OF-WAY LINE OF 15TH AVENUE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID WEST RIGHT-OF-WAY LINE, 232.90 FEET; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST, 66.64 FEET; THENCE SOUTH 01 DEGREES 16 MINUTES 14 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 20.00 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 88 DEGREES 43 MINUTES 46 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 66.81 FEET TO SAID WEST RIGHT-OF-WAY LINE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE, 8.00 FEET; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST, 66.74 FEET; THENCE SOUTH 01 DEGREES 16 MINUTES 14 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 8.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 534.2 SQUARE FEET.

7. 12/9/2015 REVISED LEASE AREA & EASEMENTS LOCATION PER CLIENT



PREPARED BY:
ASMO
 ASM Consultants, Inc.
 16 E. Wilson Street, Batavia, IL 60510
 Tel (630) 879-0200 Fax (630) 454-4774
 advanced@advct.com
 Professional Design Firm #184-006014 expires 4/30/2015

PLAT OF SURVEY OF LESSEE LEASE AREA AND EASEMENTS

PREPARED FOR:
GTE WIRELESS MIDWEST, INC.
 limited partnership
 d/b/a/ Verizon Wireless

Concordia Wireless
 A division of Concordia Group, Ltd.
 361 Randy Road, Suite 101
 Carol Stream, IL 60188

NO.	DATE	REVISION
4.	4/8/2015	REISSUED PRELIMINARY SURVEY
5.	4/24/2015	FINAL SURVEY COMPLETED
6.	12/1/2015	REVISED GAS EASEMENT LOCATION PER CLIENT

SITE DESIGNATION INFORMATION:
STEPHENS PARK
LOCATION NO.: 288442
531 15TH AVENUE
MOLINE, IL 61265

DRAWN BY: PS
 CHECKED BY: CSM
PROJECT NO. 81006A
LS-2

Prepared by and upon recording
Please return to:

Ginsberg Jacobs LLC
300 South Wacker Drive
Suite 2750
Chicago, Illinois 60606
Attn: Steven F. Ginsberg, Esq.
(Site Name: Stephens Park WT)

MEMORANDUM OF WATER TOWER LEASE AGREEMENT

This Memorandum of Water Tower Lease Agreement is made this ____ day of _____, 20__, between the City of Moline, an Illinois municipal corporation, with its principal offices located at 619 16th Street, Moline, Illinois 61265, hereinafter referred to as “LESSOR”, and GTE Wireless of the Midwest Incorporated, an Indiana corporation d/b/a Verizon Wireless, with its principal office located at One Verizon Way, Mailstop 4AW100, Basking Ridge, New Jersey 07920, hereinafter referred to as “LESSEE”. LESSOR and LESSEE are at times collectively referred to hereinafter as the “Parties” or individually as the “Party”.

1. LESSOR and LESSEE entered into a Water Tower Lease Agreement (the “Agreement”) on _____, 20__ for an initial term of five (5) years, commencing on the Commencement Date. The Agreement shall automatically be extended for three (3) additional five (5) year terms unless the LESSEE terminates it at the end of the then current term by giving the LESSOR written notice of the intent to terminate at least six (6) months prior to the end of the then current term. If at the end of the third (3rd) five (5) year extension term the Agreement has not been terminated by either Party by giving to the other written notice of an intention to terminate it at least six (6) months prior to the end of such term, the Agreement shall continue in force upon the same covenants, terms and conditions for one (1) further term of five (5) years.
2. LESSOR hereby leases to LESSEE a portion of that certain space on the LESSOR's water tower, located at 531 15th Avenue, Moline, Illinois, as shown on the Tax Map of Moline as Parcel Identification Number 1706200001, and being part of that real property further described in Deed Book 181 at Page 447 and in Deed Book 187 at Page 386, as recorded in the Office of the Rock Island County Recorder, (the entirety of LESSOR's property is referred to hereinafter as the “Property”), together with a 36' x 20' parcel of land sufficient for installation of LESSEE's equipment building (the “Land Space”); together with the non-exclusive right for ingress and egress, seven (7) days a week, twenty-four (24) hours a day, on foot or motor vehicle, including trucks over a twelve foot (12') wide right-of-way (the “Access Right of Way”), and for the installation and maintenance of utility wires, poles, cables, conduits, and pipes over, under, or along an eight foot (8') wide right-of-way (“Utility Right of Way”) and a separate eight foot (8') wide right-of-way (“Gas Right of Way”) extending from the nearest public right-of-way, 7th Street, to the Land Space. The Tower Space, Land Space, Access Right of Way, Utility Right of Way, and Gas

Right of Way are all hereinafter as the "Premises". The Premises are as described in Exhibit A attached hereto and made a part hereof, and as shown on the plat of survey attached hereto and incorporated herein as Exhibit B. In the event any public utility is unable to use the aforementioned rights-of-way, the LESSOR has agreed to grant an additional right-of-way either to the LESSEE or to the public utility at no cost to the LESSEE.

3. The Commencement Date of the Agreement, of which this is a Memorandum, is March 1, 2016.
4. LESSEE has the right of first refusal to purchase the Premises during the initial term and all renewal terms of the Agreement.
5. The terms, covenants and provisions of the Agreement, the terms of which are hereby incorporated by reference into this Memorandum, shall extend to and be binding upon the respective executors, administrators, heirs, successors and assigns of LESSOR and LESSEE.

[Signature Page Follows]

IN WITNESS WHEREOF, hereunto and to a duplicate hereof, LESSOR and LESSEE have caused this Memorandum to be duly executed on the date first written hereinabove.

LESSOR:

City of Moline

By: _____
Scott Raes, Mayor

Attest: _____
Tracy Koranda, City Clerk

Date: _____

Approved as to form:

Maureen Riggs, City Attorney

LESSEE:

**GTE Wireless of the Midwest Incorporated
d/b/a Verizon Wireless**

By: _____

Name: _____

Its: _____

Date: _____

STATE OF ILLINOIS)
)
COUNTY OF ROCK ISLAND)

LESSOR ACKNOWLEDGEMENT

I, _____, a Notary Public for said County and State, do hereby certify that Scott Raes personally came before me this day and acknowledged that he is the Mayor of the City of Moline, an Illinois municipal corporation, and he, being authorized to do so, executed the foregoing **MEMORANDUM OF WATER TOWER LEASE AGREEMENT** as his own act and deed on behalf of the City of Moline.

WITNESS my hand and official Notarial Seal, this ___ day of _____, 20__.

Notary Public

My Commission Expires:

STATE OF ILLINOIS)
)
COUNTY OF _____)

LESSEE ACKNOWLEDGEMENT

I, _____, a Notary Public for said County and State, do hereby certify that _____ personally came before me this day and acknowledged that s/he is the _____ of GTE Wireless of the Midwest Incorporated d/b/a Verizon Wireless, and she, being authorized to do so, executed the foregoing **MEMORANDUM OF WATER TOWER LEASE AGREEMENT** as her/his own act and deed on behalf of GTE Wireless of the Midwest Incorporated d/b/a Verizon Wireless.

WITNESS my hand and official Notarial Seal, this ___ day of _____, 20__.

Notary Public

My Commission Expires:

EXHIBIT A

[WRITTEN METES AND BOUNDS OF THE PREMISES AND INGRESS/EGRESS AND UTILITY EASEMENT]

PROPERTY:

BEGINNING AT A POINT WHERE THE WEST LINE OF SEVENTH (7TH) STREET INTERSECTS THE NORTH LINE OF FIFTEENTH (15TH) AVENUE IN THE CITY OF MOLINE, THERE RUN NORTH ALONG THE SAID WEST LINE OF SEVENTH (7TH) STREET, ONE HUNDRED AND FORTY FOUR (144) FEET FOR A STARTING POINT, THENCE RUN WEST AT RIGHT ANGLES TO THE WEST LINE OF SEVENTH (7TH) STREET, ONE HUNDRED AND TWENTY FIVE (125) FEET, THENCE RUN NORTH AT RIGHT ANGLES TO THE NORTH LINE OF OF FIFTEENTH (15TH) AVENUE, NINETY EIGHT (98) FEET, THENCE RUN EAST PARALLEL TO THE NORTH LINE OF FIFTEENTH (15TH) AVENUE, ONE HUNDRED AND TWENTY FIVE (125) FEET, THENCE RUN SOUTH ON THE WEST LINE OF SEVENTH (7TH) STREET, NINETY EIGHT (98) FEET TO SAID STARTING POINT, IN COUNTY OF ROCK ISLAND, STATE OF ILLINOIS.

LAND SPACE:

A PARCEL OF LAND FOR LESSEE LEASE AREA PURPOSES, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 1 WEST OF THE 4TH P.M., ROCK ISLAND COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF 7TH STREET WITH THE NORTH RIGHT-OF-WAY LINE OF 15TH AVENUE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID WEST RIGHT-OF-WAY LINE, 232.90 FEET; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST, 66.64 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 01 DEGREES 16 MINUTES 14 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 20.00 FEET; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 36.00 FEET; THENCE NORTH 01 DEGREES 16 MINUTES 14 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 20.00 FEET; THENCE SOUTH 88 DEGREES 43 MINUTES 46 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 36.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 720.0 SQUARE FEET.

ACCESS RIGHT OF WAY:

A PARCEL OF LAND FOR ACCESS EASEMENT PURPOSES, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 1 WEST OF THE 4TH P.M., ROCK ISLAND COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF 7TH STREET WITH THE NORTH RIGHT-OF-WAY LINE OF 15TH AVENUE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID WEST RIGHT-OF-WAY LINE, 232.90 FEET FOR A POINT OF BEGINNING; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST, 66.64 FEET; THENCE SOUTH 01 DEGREES 16 MINUTES 14 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 12.00 FEET; THENCE SOUTH 88 DEGREES 43 MINUTES 46 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 66.74 FEET TO SAID WEST RIGHT-OF-WAY LINE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE, 12.00 FEET TO THE POINT OF BEGINNING.

UTILITY RIGHT OF WAY:

A PARCEL OF LAND FOR UTILITY EASEMENT PURPOSES, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 1 WEST OF THE 4TH P.M., ROCK ISLAND COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

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GAS RIGHT OF WAY:

A PARCEL OF LAND FOR GAS EASEMENT PURPOSES, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 1 WEST OF THE 4TH P.M., ROCK ISLAND COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF 7TH STREET WITH THE NORTH RIGHT-OF-WAY LINE OF 15TH AVENUE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID WEST RIGHT-OF-WAY LINE, 232.90 FEET; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST, 66.64 FEET; THENCE SOUTH 01 DEGREES 16 MINUTES 14 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 20.00 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 88 DEGREES 43 MINUTES 46 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 66.81 FEET TO SAID WEST RIGHT-OF-WAY LINE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE, 8.00 FEET; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST, 66.74 FEET; THENCE SOUTH 01 DEGREES 16 MINUTES 14 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 8.00 FEET TO THE POINT OF BEGINNING.

EXHIBIT B

**[BOUNDARY SURVEY OF THE PREMISES
AND INGRESS/EGRESS AND UTILITY EASEMENT]**

[see attached survey]

LEGEND

	Light Post		Found Section Corner Monument
	Power Pole		Found or Set Monument
	Telephone Pedestal		Found or Set Cut Cross
	Fence		Measured
	Railroad Tracks		Record
	Centerline (60.00')		Document Number
	Section Line		Building
	Underground Electric Line		
	Underground Fiber Optic Line		
	Underground Communication Line		PROPOSED Access Easement
	Underground Gas Line		PROPOSED Utility Easement
	Underground Storm Line		Lease Site Area
	Underground Water Line		Gas Easement
	Above Ground Level		
	Point of Commencement		
	Point of Beginning		

BENCHMARK INFO

SOURCE BENCHMARK: NGS MONUMENT
 DESIGNATION: ROC74 1A
 PID: AH3060
 STATE / COUNTY: IL / ROCK ISLAND
 USGS QUAD: SILVIS (1991)
 ELEVATION = 567.33' (NAVD88)

BASIS OF BEARING

BEARINGS SHOWN HEREON ARE BASED ON ILLINOIS STATE PLANE, WEST ZONE, NAD83 (2011)
 MEAN MAGNETIC DECLINATION OBTAINED FROM U.S.G.S. 7 1/2 MINUTE SERIES MAP MILAN QUADRANGLE STATE OF ILLINOIS - IOWA
 LATITUDE: N 41° 29' 55.01"
 LONGITUDE: W 090° 31' 41.33"
 AT PROPOSED CENTERLINE OF TOWER COMPLIES WITH F.A.A. 1/A ACCURACY REQUIREMENTS
 SCALE: 1" = 30'

11" X 17" PRINT IS THE FULL SCALE FORMAT OF THIS SURVEY. ANY OTHER SIZE IS AT AN ADJUSTED SCALE.

LOCATION MAP

NOT TO SCALE

WATER TOWER HEIGHTS INFO.
 TOP OF LIGHTNING ROD 141.9' AGL
 TOP OF WHIP ANTENNA 141.9' AGL
 TOP OF ANTENNA PANEL 138.7' AGL
 BOTTOM OF ANTENNA PANEL 134.8' AGL
 TOP OF PLATFORM 131.7' AGL
 BOTTOM OF PLATFORM 130.0' AGL
 TOP OF HATCH 129.0' AGL
 TOP TOP TANK 128.5' AGL
 TOP PAINTER RING 77.2' AGL
 BOTTOM PAINTER RING 72.2' AGL

WATER TOWER CL Tank
 X = 2197564.0
 Y = 1760038.9

WATER TOWER HEIGHTS INFO.
 TOP OF LIGHTNING ROD 141.9' AGL
 TOP OF WHIP ANTENNA 141.9' AGL
 TOP OF ANTENNA PANEL 138.7' AGL
 BOTTOM OF ANTENNA PANEL 134.8' AGL
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 TOP OF HATCH 129.0' AGL
 TOP TOP TANK 128.5' AGL
 TOP PAINTER RING 77.2' AGL
 BOTTOM PAINTER RING 72.2' AGL

LEGAL DESCRIPTIONS

SEE SHEET L-2 (SHEET 2 OF 2) FOR POINT OF COMMENCEMENT LOCATION AND ALL LEGAL DESCRIPTIONS

SURVEY NOTES

EASEMENTS AND SETBACKS SHOWN HEREON ARE BASED UPON THE RECORDED SUBDIVISION PLAT UNLESS NOTED OTHERWISE.

THE SURVEYOR EXPRESSES NO OPINION AS TO THE ACCURACY OF ANY UNDERGROUND UTILITIES WHEN NOT READILY VISIBLE FROM THE SURFACE. IT IS RECOMMENDED THAT THE APPROPRIATE GOVERNMENTAL AGENCY, MUNICIPALITY AND/OR UTILITY COMPANY BE CONTACTED FOR VERIFICATION.

THE PERMANENT PARCEL INDEX NUMBER FOR THE PROPERTY ENCUMBERED BY THE LEASE SITE AND EASEMENTS HEREON IS 17-06-200-001.

THE FLOOD INSURANCE RATE MAP SHOWS THAT THE PROPERTY DESCRIBED HEREON IS FALLING WITHIN ZONE "X", ACCORDING TO THE COMMUNITY PANEL NUMBER 170591 0310 F, CITY OF MOLINE, MAP NUMBER 17161C0310F, ROCK ISLAND COUNTY, ILLINOIS AND INCORPORATED AREAS, MAP REVISED APRIL 5, 2010. ZONE "X" IS AREA DETERMINED TO BE OUTSIDE THE 0.2 % ANNUAL CHANCE FLOODPLAIN.

EASEMENTS AND SERVITUDES SHOWN HEREON ARE BASED UPON A TITLE COMMITMENT ISSUED BY CHICAGO TITLE INSURANCE COMPANY, AND IDENTIFIED AS FILE NUMBER: 144003, REFERENCE FILE NUMBER 021403637, WITH AN EFFECTIVE DATE OF JANUARY 13, 2015.

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS }
 COUNTY OF KANE } SS

I, CHARLES S. MARSHALL, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON, BEING COMPLETED IN THE FIELD ON 12/25/2014 IS A CORRECT REPRESENTATION OF A SURVEY PERFORMED AT AND UNDER MY DIRECTION.

THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND BOUNDARY SURVEYS SET FORTH BY ILLINOIS STATE LAW.

ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.

GIVEN UNDER MY HAND AND SEAL THIS 9TH DAY OF DECEMBER, A.D. 2015.

CHARLES S. MARSHALL
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3377
 LICENSE EXPIRES 11/30/2016



PREPARED BY:

ASMO

ASM Consultants, Inc.
 16 E. Wilson Street, Batavia, IL 60510
 Tel (630) 879-0200 Fax (630) 454-4774
 advanced@advct.com
 Professional Design Firm #184-006014 expires 4/30/2017

PLAT OF SURVEY OF LESSEE LEASE AREA AND EASEMENTS

PREPARED FOR:

GTE WIRELESS MIDWEST, INC.
 limited partnership
 d/b/a/ Verizon Wireless

Concordia Wireless
 A division of Concordia Group, Ltd.
 361 Randy Road, Suite 101
 Carol Stream, IL 60188

NO.	DATE	REVISION
1.	12/25/2014	FIELD SURVEY COMPLETED
4.	4/8/2015	REISSUED PRELIMINARY SURVEY
5.	8/24/2015	FINAL SURVEY COMPLETED
6.	12/1/2015	REVISED GAS EASEMENT LOCATION PER CLIENT
7.	12/9/2015	REVISED LEASE AREA & EASEMENTS LOCATION PER CLIENT

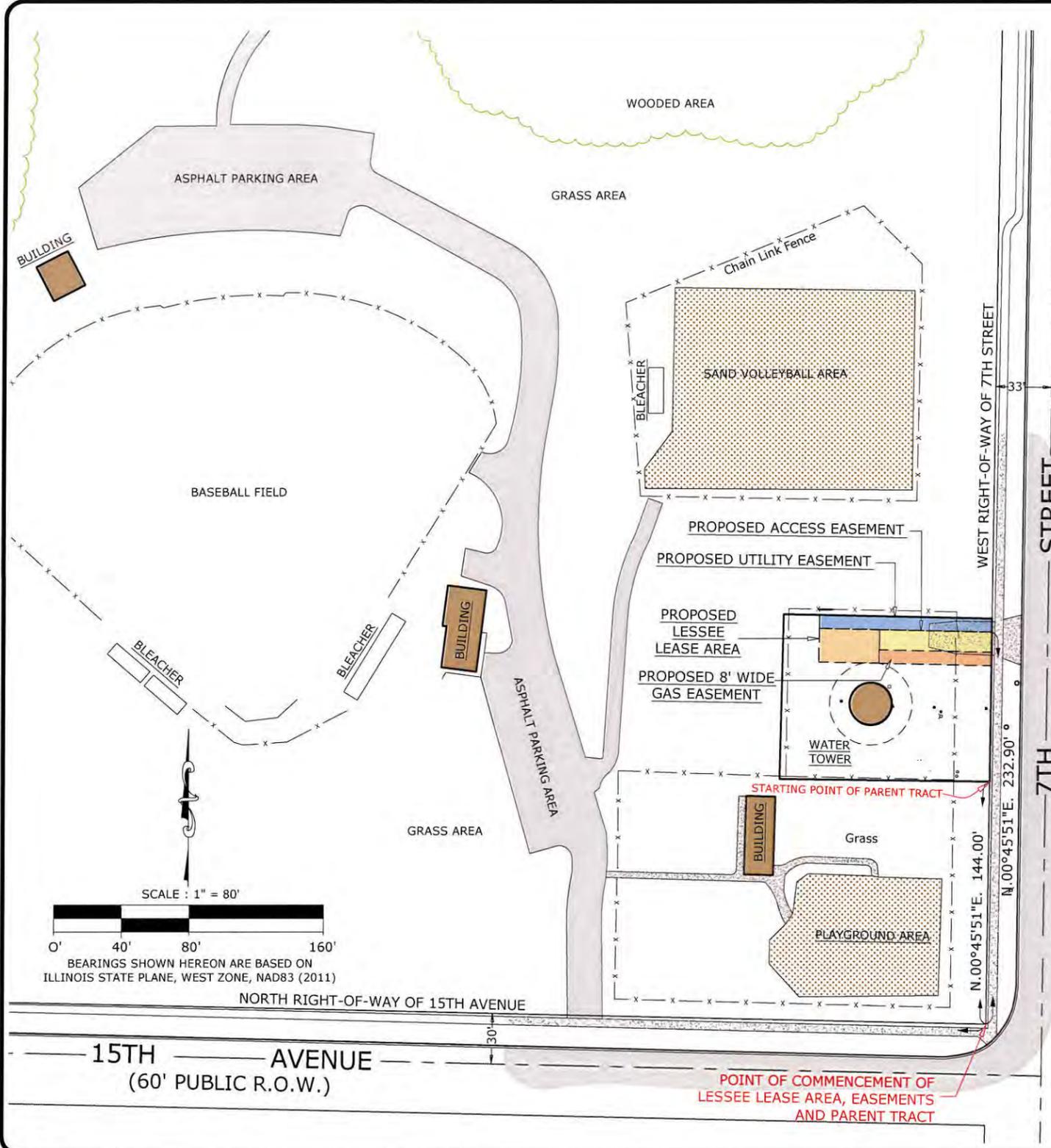
SITE DESIGNATION INFORMATION:

STEPHENS PARK
 LOCATION NO.: 288442
 531 15TH AVENUE
 MOLINE, IL 61265

DRAWN BY: PS
 CHECKED BY: CSM

PROJECT NO. 810006A

LS-1



PARENT TRACT:
 (Part of Exceptions in Deed document number 121186 filed December 10, 1907)

BEGINNING AT A POINT WHERE THE WEST LINE OF SEVENTH (7TH) STREET INTERSECTS THE NORTH LINE OF FIFTEENTH (15TH) AVENUE IN THE CITY OF MOLINE, THERE RUN NORTH ALONG THE SAID WEST LINE OF SEVENTH (7TH) STREET, ONE HUNDRED AND FORTY FOUR (144) FEET FOR A STARTING POINT, THENCE RUN WEST AT RIGHT ANGLES TO THE WEST LINE OF SEVENTH (7TH) STREET, ONE HUNDRED AND TWENTY FIVE (125) FEET, THENCE RUN NORTH AT RIGHT ANGLES TO THE NORTH LINE OF FIFTEENTH (15TH) AVENUE, NINETY EIGHT (98) FEET, THENCE RUN EAST PARALLEL TO THE NORTH LINE OF FIFTEENTH (15TH) AVENUE, ONE HUNDRED AND TWENTY FIVE (125) FEET, THENCE RUN SOUTH ON THE WEST LINE OF SEVENTH (7TH) STREET, NINETY EIGHT (98) FEET TO SAID STARTING POINT, IN COUNTY OF ROCK ISLAND, STATE OF ILLINOIS.

SAID TRACT OF LAND IS NOW OWNED BY HENRY DEEBELLISHN AND DORA HOESLI.

PROPOSED LESSEE LEASE AREA LEGAL DESCRIPTION:

A PARCEL OF LAND FOR LESSEE LEASE AREA PURPOSES, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 1 WEST OF THE 4TH P.M., ROCK ISLAND COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF 7TH STREET WITH THE NORTH RIGHT-OF-WAY LINE OF 15TH AVENUE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID WEST RIGHT-OF-WAY LINE, 232.90 FEET; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST, 66.64 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 01 DEGREES 16 MINUTES 14 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 20.00 FEET; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 36.00 FEET; THENCE NORTH 01 DEGREES 16 MINUTES 14 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 20.00 FEET; THENCE SOUTH 88 DEGREES 43 MINUTES 46 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 36.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 720.0 SQUARE FEET.

PROPOSED ACCESS EASEMENT LEGAL DESCRIPTION:

A PARCEL OF LAND FOR ACCESS EASEMENT PURPOSES, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 1 WEST OF THE 4TH P.M., ROCK ISLAND COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF 7TH STREET WITH THE NORTH RIGHT-OF-WAY LINE OF 15TH AVENUE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID WEST RIGHT-OF-WAY LINE, 232.90 FEET FOR A POINT OF BEGINNING; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST, 66.64 FEET; THENCE SOUTH 01 DEGREES 16 MINUTES 14 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 20.00 FEET; THENCE SOUTH 88 DEGREES 43 MINUTES 46 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 66.74 FEET TO SAID WEST RIGHT-OF-WAY LINE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE, 12.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 800.3 SQUARE FEET

PROPOSED UTILITY EASEMENT LEGAL DESCRIPTION:

A PARCEL OF LAND FOR UTILITY EASEMENT PURPOSES, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 1 WEST OF THE 4TH P.M., ROCK ISLAND COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF 7TH STREET WITH THE NORTH RIGHT-OF-WAY LINE OF 15TH AVENUE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID WEST RIGHT-OF-WAY LINE, 232.90 FEET FOR A POINT OF BEGINNING; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST, 102.64 FEET; THENCE NORTH 01 DEGREES 16 MINUTES 14 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 8.00 FEET; THENCE SOUTH 88 DEGREES 43 MINUTES 46 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 102.57 FEET TO SAID WEST RIGHT-OF-WAY LINE; THENCE SOUTH 00 DEGREES 45 MINUTES 51 SECONDS WEST ALONG SAID WEST RIGHT-OF-WAY LINE, 8.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 820.8 SQUARE FEET.

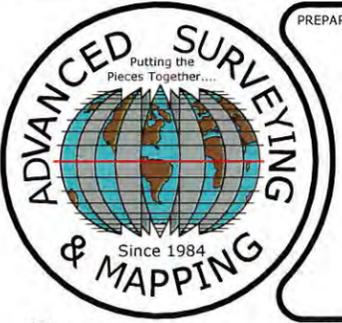
PROPOSED GAS EASEMENT LEGAL DESCRIPTION:

A PARCEL OF LAND FOR GAS EASEMENT PURPOSES, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 1 WEST OF THE 4TH P.M., ROCK ISLAND COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF 7TH STREET WITH THE NORTH RIGHT-OF-WAY LINE OF 15TH AVENUE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID WEST RIGHT-OF-WAY LINE, 232.90 FEET; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST, 66.64 FEET; THENCE SOUTH 01 DEGREES 16 MINUTES 14 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 20.00 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 88 DEGREES 43 MINUTES 46 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 66.81 FEET TO SAID WEST RIGHT-OF-WAY LINE; THENCE NORTH 00 DEGREES 45 MINUTES 51 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE, 8.00 FEET; THENCE NORTH 88 DEGREES 43 MINUTES 46 SECONDS WEST, 66.74 FEET; THENCE SOUTH 01 DEGREES 16 MINUTES 14 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 8.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 534.2 SQUARE FEET.

7. 12/9/2015 REVISED LEASE AREA & EASEMENTS LOCATION PER CLIENT



PREPARED BY:

ASMO

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PLAT OF SURVEY OF LESSEE LEASE AREA AND EASEMENTS

PREPARED FOR:

GTE WIRELESS MIDWEST, INC.
 limited partnership
 d/b/a/ Verizon Wireless

Concordia Wireless
 A division of Concordia Group, Ltd.
 361 Randy Road, Suite 101
 Carol Stream, IL 60188

NO.	DATE	REVISION
4.	4/8/2015	REISSUED PRELIMINARY SURVEY
5.	4/24/2015	FINAL SURVEY COMPLETED
6.	12/1/2015	REVISED GAS EASEMENT LOCATION PER CLIENT

SITE DESIGNATION INFORMATION:

STEPHENS PARK
LOCATION NO.: 288442
531 15TH AVENUE
MOLINE, IL 61265

DRAWN BY: PS
 CHECKED BY: CSM

PROJECT NO. 81006A

LS-2